

ZONING DISTRICT: RESIDENCE B

	REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	63,780 s.f.
MINIMUM LOT FRONTRAGE	100 ft	197.76 ft.
MINIMUM FRONT SETBACK	25 ft.	90.3 ft.
MINIMUM SIDE SETBACK	35 ft.	41.5 ft.
MINIMUM REAR SETBACK	40 ft.	61.0 ft.
ACCESSORY STRUCTURE SETBACK	10 ft.	15.8 ft. (RET. WALL)
MAXIMUM BUILDING HEIGHT	35 ft.	33.25 ft.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5	2.5
MAXIMUM GROSS FLOOR AREA	40%	34.2% (21,785 s.f.)
OPEN SPACE	50%	58.7%
FRONT SETBACK IMPERVIOUS AREA	40% (4,880 s.f.)	15% (1,800 s.f.)
CORNER LOT PARKING IN SETBACK	30%	12%

FRONT YARD: IN A RESIDENCE B DISTRICT NO BUILDING SHALL BE ERECTED WITHIN 25 FEET OF THE LINE OF THE STREET ON WHICH IT FRONTS PROVIDED THAT NO BUILDING NEED BE SET BACK MORE THAN 25 PERCENT OF THE MEAN DEPTH OF THE LOT NOR MORE THAN THE AVERAGE OF THE SETBACKS OF THE BUILDINGS ON THE LOTS IMMEDIATELY NEXT THERETO ON EITHER SIDE, A VACANT LOT OR A LOT OCCUPIED BY A BUILDING SET BACK MORE THAN 25 FEET BEING COUNTED AS THOUGH OCCUPIED BY A BUILDING SET BACK 25 FEET.

SIDE YARD: RESIDENCE B DISTRICT WITHIN 12 FEET OF A SIDE LOT LINE OR WITHIN 24 FEET OF ANY OTHER BUILDING ON AN ADJACENT.

REAR YARD: NO BUILDING EXCEPT A ONE-STORY BUILDING OF ACCESSORY USE SHALL BE ERECTED OR MAINTAINED WITHIN 30 FEET OF THE REAR LOT LINE, PROVIDED THAT NO BUILDING NEED BE SET BACK FROM THE REAR LOT LINE MORE THAN 30 PERCENT OF THE MEAN DEPTH OF THE LOT.

THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS

CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES B.4.a.	3 SPACES/2 INSTRUCTIONAL ROOMS 11 ROOMS/2 x 3 = 17	31 SPACES (3 COMPACT SPACE-16'X8')
HANDICAP	2 SPACES	2 SPACES

SECTION VII. PARKING REGULATIONS.
G. IN RESIDENCE AA, A, B OR C DISTRICT, ANY PARKING AREA FOR MORE THAN 5 AUTOMOBILES SHALL BE SET BACK FROM ANY STREET OR FRONT LOT LINE AT LEAST THE SAME DISTANCE AS A BUILDING IN SUCH DISTRICT MUST BE SET BACK FROM SUCH A STREET PURSUANT TO THE PROVISIONS IN PARAGRAPHS 1, 2 OR 3 OF SECTION VI.

PROJECT NOTES

1. EXISTING TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PROVIDED BY WILLIAMS & SPARAGES, LLC ON MARCH 17, 2020.
2. ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NAVD88.
3. THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC AND FROM VARIOUS PLANS ON FILE WITH THE TOWN OF MILTON. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES DEPICTED OR NOT DEPICTED AND SHOULD BE CONSIDERED APPROXIMATE.
4. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
5. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
6. DIGSAFE NUMBER: 20202015352 CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE, BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
7. ANY PROPOSED WATER CONNECTIONS ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
8. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
9. ANY PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
10. THE APPLICANT SHALL COORDINATE WITH THE MILTON WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE RESULTING FROM PROPOSED SITE WORK.
12. SITE WORK TO COMPLY TO ADA STANDARDS.
13. SEE DEMOLITION PLAN PRIOR TO CONSTRUCTION.
14. SEE PLANNING BOARD DECISION PRIOR TO CONSTRUCTION.
15. SEE PLANNING BOARD DECISION PRIOR TO CONSTRUCTION.
16. SEE STORMWATER PERMIT PRIOR TO CONSTRUCTION.



THE GODDARD SCHOOL® FOR EARLY CHILDHOOD DEVELOPMENT

Goddard Milton
193 Central Avenue
Milton, MA 02186



TOWN OF MILTON DEPARTMENT CONTACTS:

MILTON TOWN HALL

525 CANTON AVENUE
MILTON, MA 02186
617-898-4800

DEPARTMENT OF PUBLIC WORKS

629 RANDOLPH AVENUE
MILTON, MA 02186
617-898-4900

INSPECTIONAL SERVICES

525 CANTON AVENUE
MILTON, MA 02186
617-898-4925

PLUMBING & GAS

525 CANTON AVENUE
MILTON, MA 02186
617-898-4928

ELECTRIC DEPARTMENT

525 CANTON AVENUE
MILTON, MA 02186
617-898-4927

CODE ENFORCEMENT

525 CANTON AVENUE
MILTON, MA 02186
617-898-4839

ENGINEERING

525 CANTON AVENUE
MILTON, MA 02186
617-898-4973

POLICE DEPARTMENT

525 CANTON AVENUE
MILTON, MA 02186
617-698-3800

FIRE DEPARTMENT

515 CANTON AVENUE
MILTON, MA 02186
617-898-4901

PLANNING BOARD

525 CANTON AVENUE
MILTON, MA 02186
617-898-4847

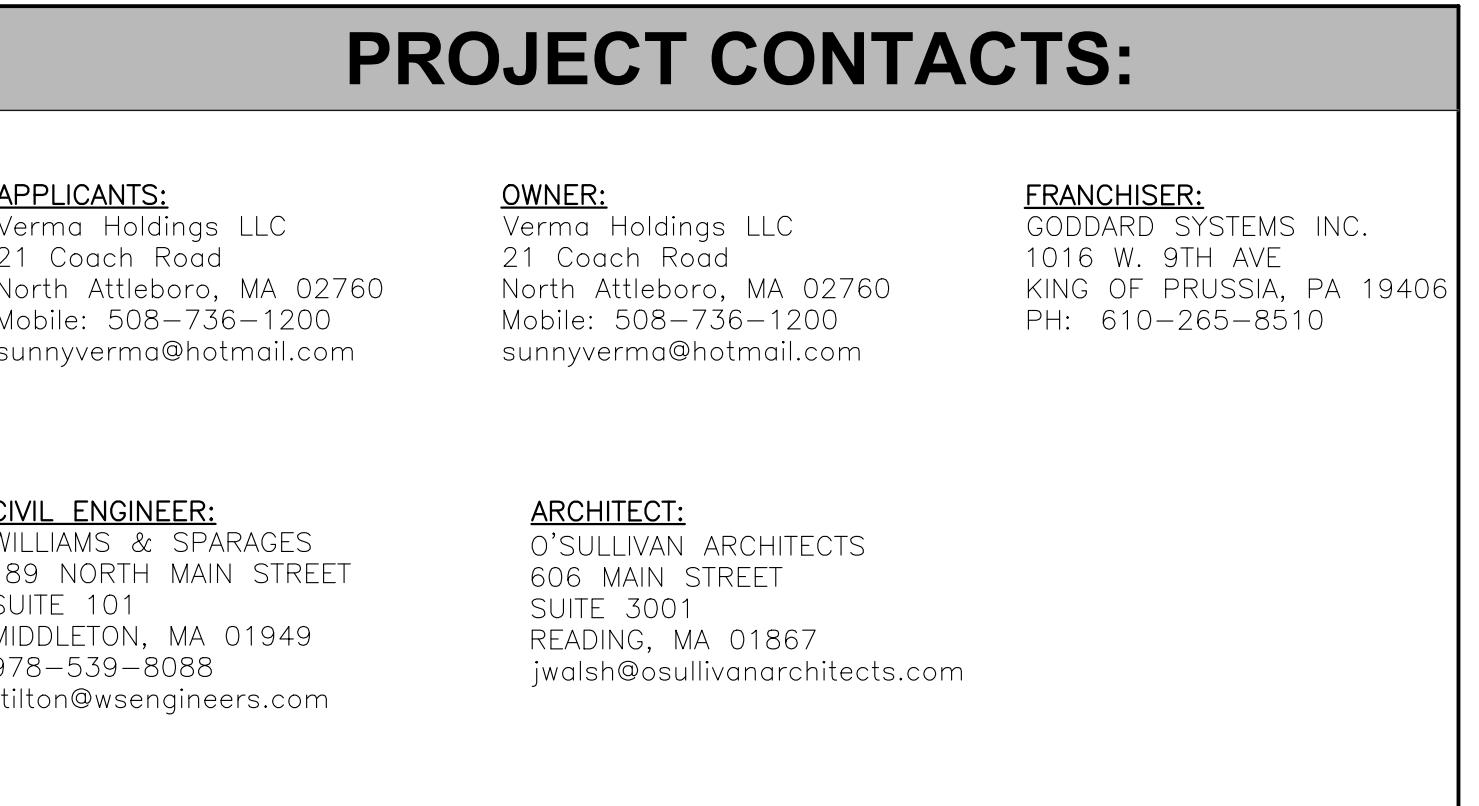
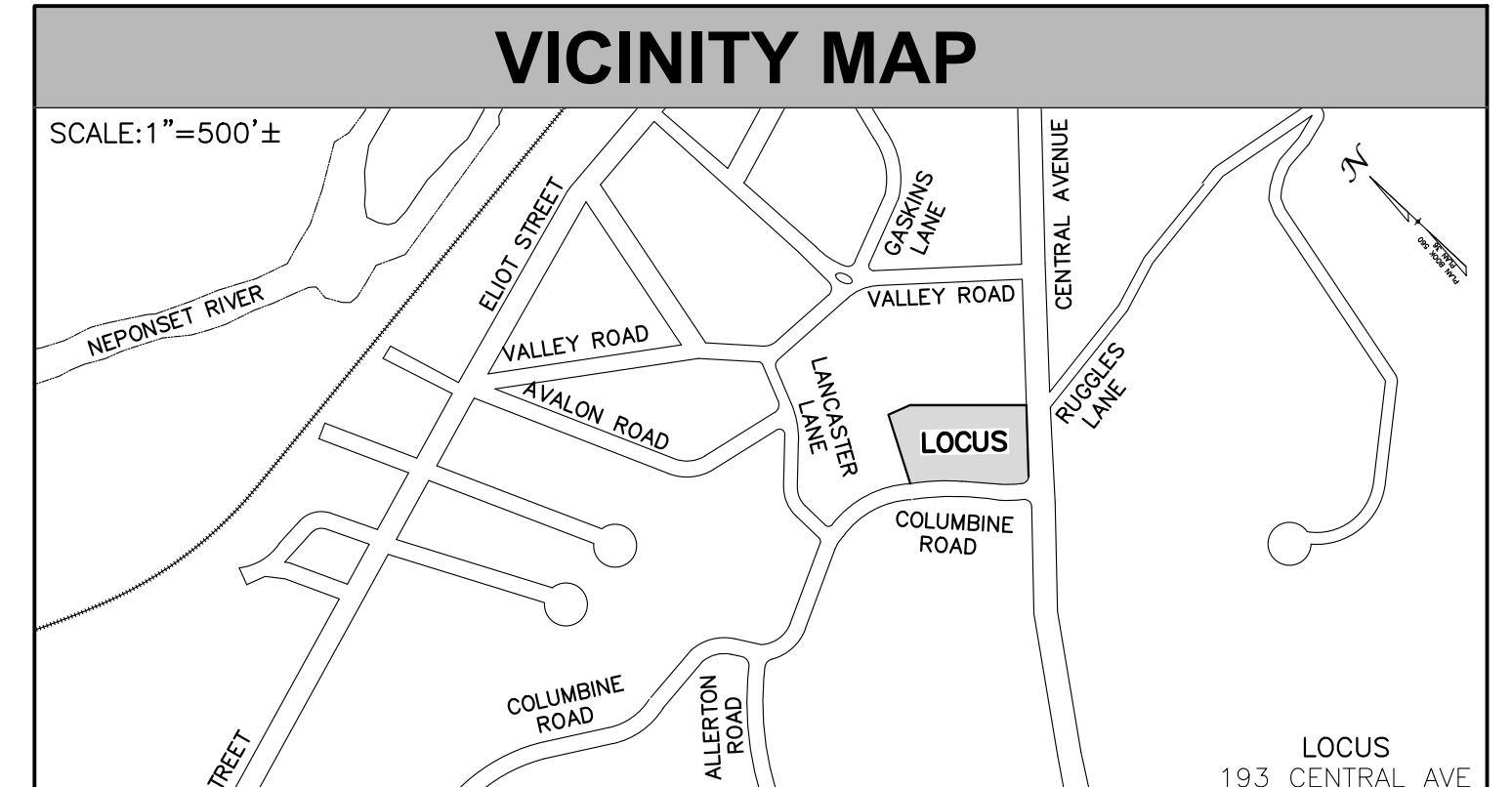
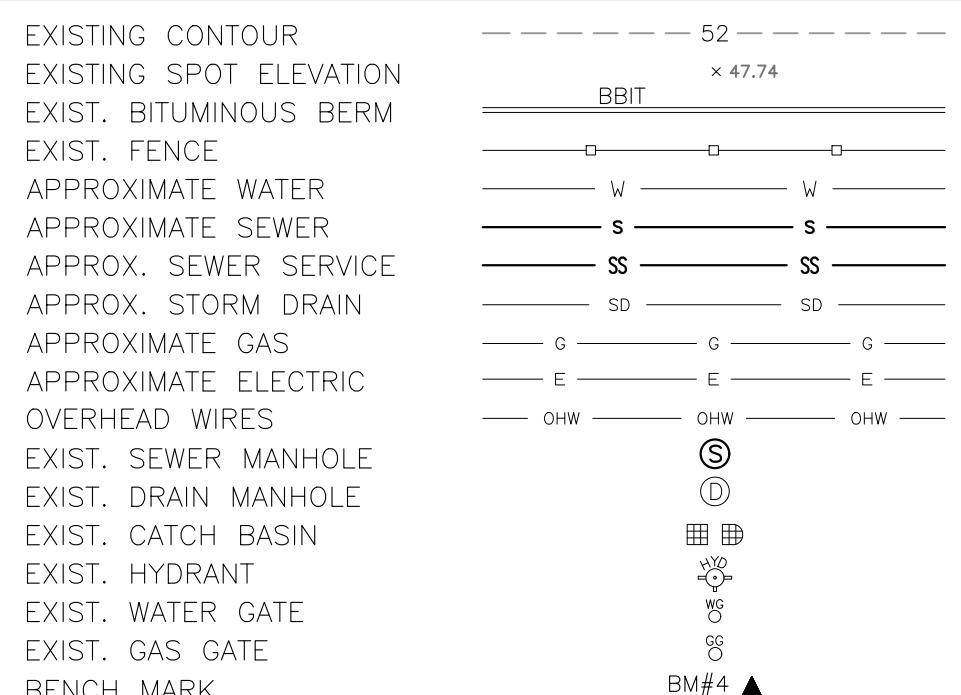
PLANNING

525 CANTON AVENUE
MILTON, MA 02186
781-751-4847

HEALTH DEPARTMENT

525 CANTON AVENUE
MILTON, MA 02186
781-751-4886

LEGEND OF SYMBOLS



LIST OF DRAWING SHEETS:

SHEET NUMBER & NAME

CIVIL: WILLIAMS & SPARAGES, LLC	SHEET	Milton PB Approval	GSI Rev. #1	GSI Rev. #2	GSI Rev. #3
T1.1 TITLE SHEET	1				
C1.0 EXISTING CONDITIONS PLAN	2				
C1.1 SITE PLAN	3				
C1.2 PLAYGROUND DETAILS	4				
C1.3 PLAYGROUND DETAILS	5				
C2.1 GRADING PLAN	6				
C2.2 DRAINAGE PLAN	7				
C2.3 DRAINAGE DETAIL PLAN	8				
C3.1 UTILITY PLAN	9				
PHOTOMETRIC PLAN (By Others)	10				
C5.1 SITE DETAILS	11				
C5.2 SITE DETAILS	12				
L1.0 LANDSCAPE PLAN	13				

CODE:

G1.1 CODE STUDY

ARCHITECTURAL: O'SULLIVAN ARCHITECTS, INC.



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18

DRAWING ISSUED FOR REVIEW ONLY

DRAWING ISSUED FOR PERMIT

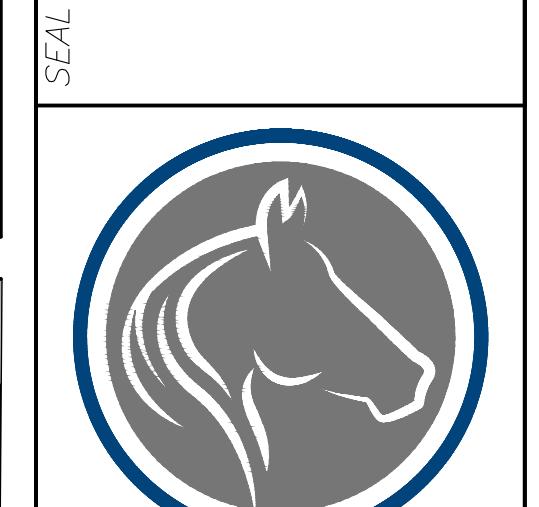
DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE REVISIONS

10/19/2021 PB 10/14/21

SCALE: AS SHOWN



SITE PLAN SET
TITLE SHEET
NEW GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

NON-TOWN UTILITY CONTACTS:

DIGSAFE:	EVERSOURCE:	NATIONAL GRID:
811 HTTP://WWW.DIGSAFE.COM	800-592-2000	1-800-233-5325
DIGSAFE NUMBER: 20202015352		
5/15/2020		
VERIZON:	COMCAST/XFINITY:	
1-800-837-4966	1-800-266-2278	

Information provided by Town Website & DigSafe

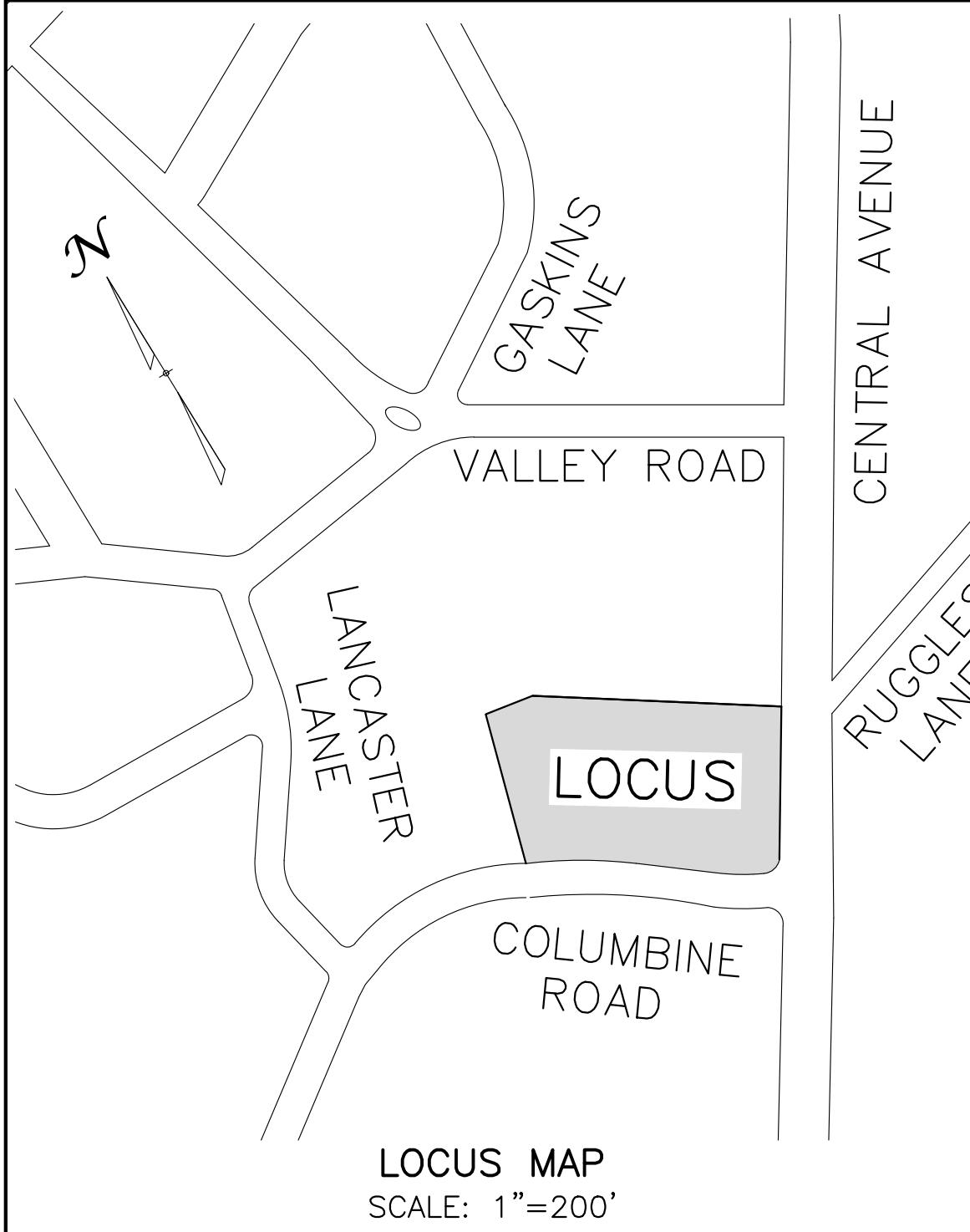
PLAN REFERENCES:

OWNER:	SITE ADDRESS:
Verma Holdings LLC	193 CENTRAL AVE. MILTON, MA 02186
21 Coach Road	
North Attleboro, MA 02760	
Mobile: 508-736-1200	
sunnyverma@hotmail.com	
ASSESSORS MAP:	
MAP E	
BLOCK 5	
LOT 28	
DATE:	

SIGNATURE: GSI PROJECT DATE:

GSI REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH GSI PROTOTYPE DRAWING AND SPECIFICATIONS. OWNER, DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE BUILDING MEETS ALL STATE AND LOCAL ORDINANCES, REGULATIONS, CODES, AND CHILD CARE LICENSING REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION. ANY DEVIATION FROM THE GSI PROTOTYPE DRAWING AND SPECIFICATIONS MUST BE APPROVED BY THE GSI FM.

T1.1



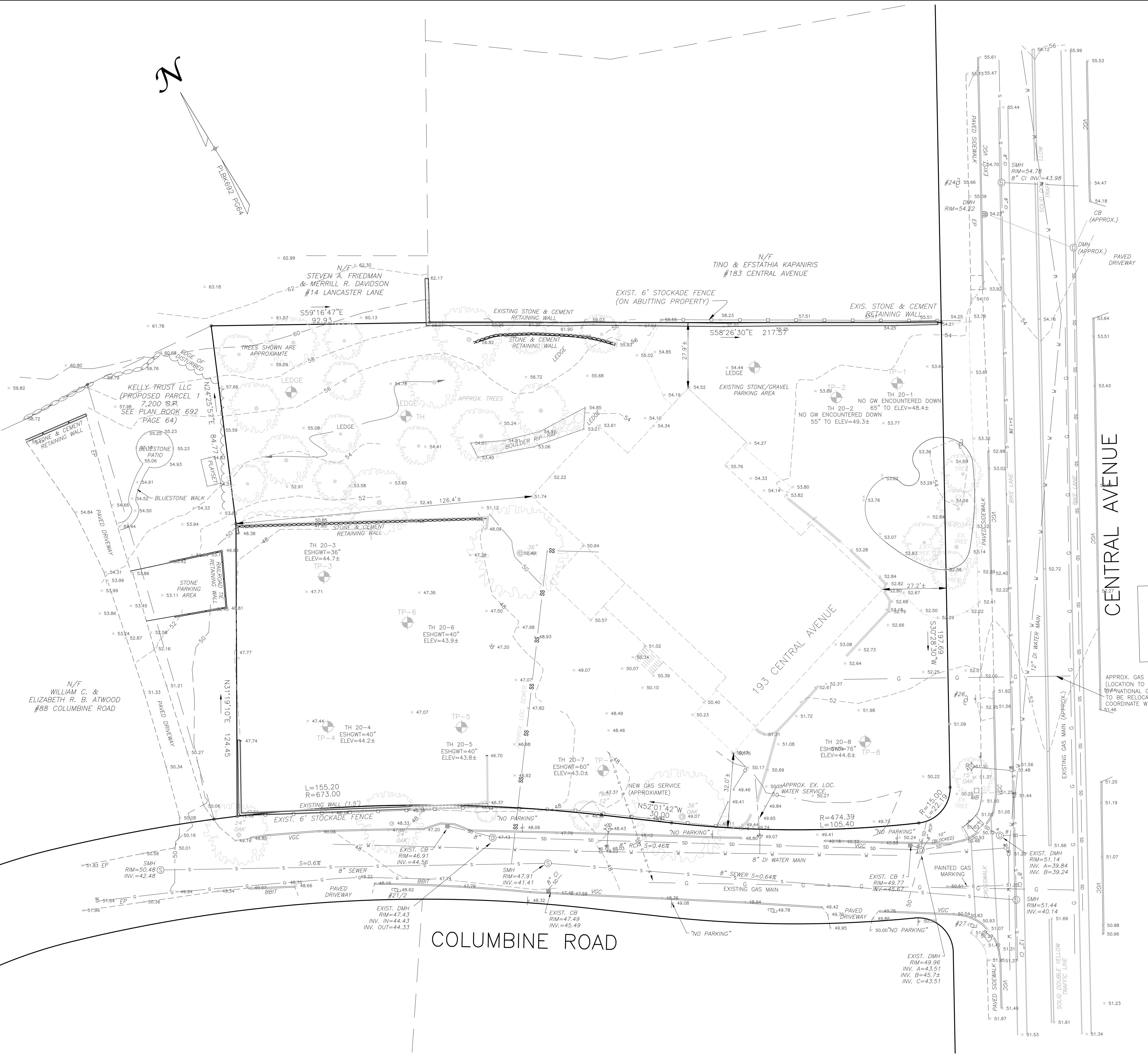
LOCUS MAP
SCALE: 1"=200'

LEGEND OF ABBREVIATIONS & SYMBOLS

EXISTING CONTOUR	— — — — —
EXISTING SPOT ELEVATION	— — — — —
EXIST. BITUMINOUS BERM	BBIT
EXIST. FENCE	W
APPROXIMATE WATER	S
APPROXIMATE SEWER	SS
APPROX. SEWER SERVICE	SD
APPROX. STORM DRAIN	SD
APPROXIMATE GAS	G
APPROXIMATE ELECTRIC	E
OVERHEAD WIRES	OHW
EXIST. SEWER MANHOLE	⑤
EXIST. DRAIN MANHOLE	⑥
EXIST. CATCH BASIN	⑦
EXIST. HYDRANT	⑧
EXIST. WATER GATE	⑨
EXIST. GAS GATE	⑩
BENCH MARK	BM
EXIST. BOLLARD	●
LIGHT	●
TRAFFIC FLOW	→
SIGN	●
TEST PIT	●
WALL	— — — — —
UTILITY POLE	●
PROPOSED CONTOUR	— — — — —
PROPOSED SPOT ELEVATION	— — — — —

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14. SEE PLANNING BOARD DECISION PRIOR TO CONSTRUCTION.
15. SEE STORMWATER PERMIT PRIOR TO CONSTRUCTION.
16. NEW BENCHMARKS ARE TO BE SET.



WILLIAMS & SPARAGES
181 NORTH MAIN STREET
CANTERBURY, NH 03224
MIDDLETON, MA 01849
PHONE: (603) 434-8208
FAX: (978) 439-8200
WSENGNEERS.COM

Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

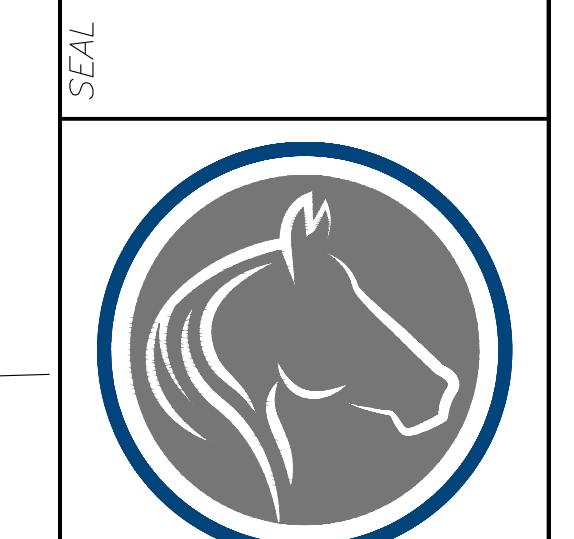
Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

DRAWING ISSUED FOR REVIEW ONLY
 DRAWING ISSUED FOR PERMIT
 DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE REVISIONS
10/19/2021 PB 10/14/21

0' 10' 20' 40'
SCALE: 1"=20'



EXISTING CONDITIONS PLAN
NEW GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

EXISTING CONDITIONS
(2 of 13)

C1.0

ZONING DISTRICT: RESIDENCE B

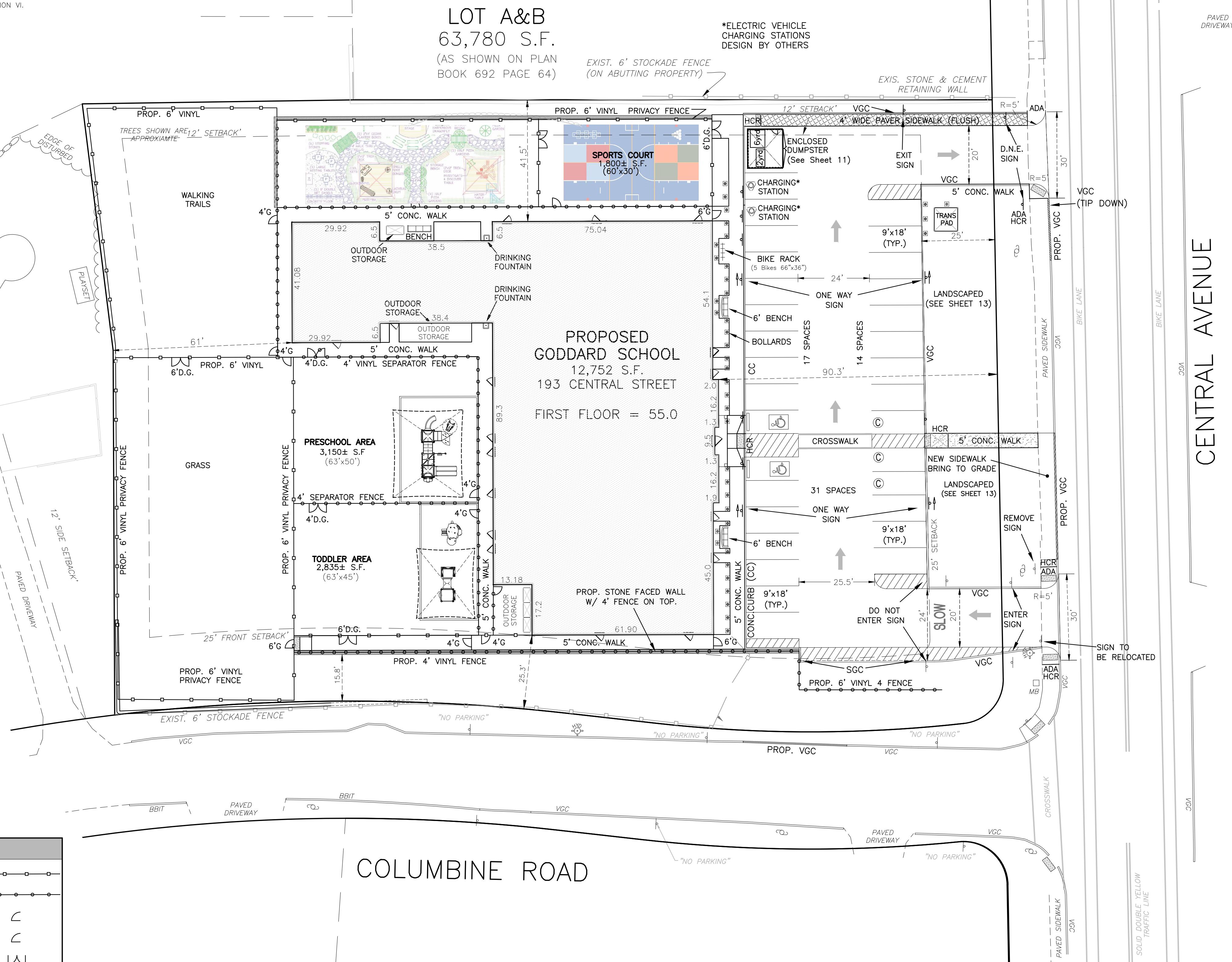
	REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	63,780 s.f.
MINIMUM LOT FRONTAGE	100 ft.	197.76 ft.
MINIMUM FRONT SETBACK	25 ft.	90.3 ft.
MINIMUM SIDE SETBACK	35 ft.	41.5 ft.
MINIMUM REAR SETBACK	40 ft.	61.0 ft.
ACCESSORY STRUCTURE SETBACK	10 ft.	15.8 ft. (RET. WALL)
MAXIMUM BUILDING HEIGHT	35 ft.	33.25 ft.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5	2.5
MAXIMUM GROSS FLOOR AREA	40%	34.2% (21,785 s.f.)
OPEN SPACE	50%	58.7%
FRONT SETBACK IMPERVIOUS AREA	40% (4,880 s.f.)	15% (1,800 s.f.)
CORNER LOT PARKING IN SETBACK	30%	12%

PARKING REQUIREMENTS

THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS

CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES	2 SPACES FOR EVERY THREE CLASSROOMS 14 ROOMS/3 x 2 = 9.3	31 SPACES (3 COMPACT SPACE (8'x16') MIN. - 7 ALLOWED)
HANDICAP	2 SPACES	2 SPACES

SECTION VII. PARKING REGULATIONS
G. IN RESIDENCE AA, A, B OR C DISTRICT, ANY PARKING AREA FOR MORE THAN 5 AUTOMOBILES MUST PARK FROM ANY STREET OR FRONT LOT LINE AT LEAST THE SAME DISTANCE AS A BUILDING IN SUCH DISTRICT MUST BE SET BACK FROM SUCH A STREET PURSUANT TO THE PROVISIONS IN PARAGRAPHS 1, 2 OR 3 OF SECTION VI.



**PLAYGROUND RESPONSIBILITIES
DEVELOPER / GENERAL CONTRACTORS**

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS, IF REQUIRED, APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES
3. ELECTRIC AND WATER ARE NEEDED ON SITE, FOR THE PLAYGROUND INSTALLERS USE, IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPAKTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SUITABLE SOIL.
5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL. 2/C3.1)
7. SUB-GRADE BACKFILL MUST BE COMPAKTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
8. INSTALL DRAINAGE SYSTEM TO EXCAVATED PLAYGROUND BOXES PER SITE PLAN. (DTL. 13/C3.1)
9. ENSURE ADEQUATE AREA FOR PLAYGROUND INSTALLERS. STAGING AREA NEEDED TO UNLOAD AND PRE-ASSEMBLE APPROX. 1,000 CUBIC FOOT SHIPMENT OF PLAYGROUND EQUIPMENT. HOLDING AREA NEEDED TO RECEIVE DELIVERY OF APPROXIMATELY 40-50 TONS OF CRUSHED STONE. PARKING AREA NEEDED FOR TWO TRUCKS AND ONE 30' TRAILER OF EXCAVATING EQUIPMENT.
10. IF FENCING IS INSTALLED, LEAVE OUT NECESSARY SECTIONS TO PROVIDE ACCESS TO PLAYGROUND AREA.
11. ONCE COMPAKTED CRUSH STONE BASE, BORDER, AND EQUIPMENT ARE IN PLACE, THEY SHOULD NOT BE DRIVEN OR WALKED ON AND SHOULD NOT BE USED FOR STORAGE AREA.
12. PLAYGROUND INSTALLATION DESCRIBED ABOVE SHOULD TAKE APPROXIMATELY ONE TO FIVE DAYS, DEPENDING ON SITE CONDITIONS, WEATHER, INSTALLER CREW SIZE, ETC.
13. INSTALLATION OF POUR-IN-PLACE SURFACING USUALLY TAKES PLACE ONE TO TWO WEEKS AFTER PLAYGROUND IS INSTALLED, DEPENDING MAINLY ON WEATHER CONDITIONS.
14. GENERALLY ONLY THREE OR FOUR PARKING SPACES ARE NEEDED FOR SURFACING INSTALLERS. (ONE OR TWO VEHICLES AND A MIXER STAGING AREA)
15. TYPICALLY, TWO MEN MIX THE SURFACING PRODUCT IN THE PARKING LOT AND TRANSPORT BY WHEELBARROW TO PLAYGROUNDS WHERE IT IS POURED AND TROWELED. THEREFORE, NO SPECIAL ALLOWANCES ARE NECESSARY (FENCING CAN BE INSTALLED AND FINISH LANDSCAPING CAN BE COMPLETED)
16. THIS IS USUALLY A TWO-DAY INSTALLATION, DEPENDING MAINLY ON WEATHER CONDITIONS. IMPACT COURSE APPLIED ON DAY ONE, AND TOPCOAT (COLOR) APPLIED ON DAY TWO.
17. ONCE THE TOPCOAT APPLICATION IS COMPLETE, THE BINDING AGENTS WILL TAKE A MINIMUM 24 HOURS TO CURE. DURING THAT TIME THERE IS TO BE ABSOLUTELY NO WALKING ON, PLACING OBJECTS ON, OR ALLOWING ANY DUST TO ACCUMULATE ON THE TOPCOAT SURFACE.
18. FINISH GRADING AND LANDSCAPING MUST BE THE SAME ELEVATION AT THE PLAYGROUND BORDERS.
19. ENSURE THAT THE SITE IS SECURE AND THAT OTHER CONTRACTORS WILL NOT BE STORING, WORKING, WALKING, ETC. ON FINISHED PLAYGROUNDS, SURFACES OR BORDERS.

GENERAL NOTES:
DEVELOPER/GENERAL CONTRACTOR SHOULD BE IN CONSTANT COMMUNICATION WITH GSI TO SCHEDULE DELIVERY AND INSTALLATION OF THE PLAYGROUND STRUCTURES. PLAYGROUND INSTALLERS TRAVEL LONG DISTANCES AND IT IS IMPERATIVE THE SITE IS PROPERLY PREPARED AS SPECIFIED TO AVOID COSTLY MOBILIZATION, SHIPPING AND STORAGE FEES.

GSI'S PLAYGROUND INSTALLERS TRAVEL GREAT DISTANCES, INCURRING EXPENSES FOR BOTH TRANSPORTATION AND LODGING. IN ADDITION THEY ARE REQUIRED TO RESERVE RENTAL MACHINERY. IF THEY ARE TURNED AWAY BECAUSE THE SITE IS NOT READY, A TRAVEL CHARGE WILL APPLY. THIS CHARGE COULD BE SIGNIFICANT (\$50.00 PER MAN-HOUR FOR A CREW OF FIVE, LODGING AT \$175 PER ROOM PER NIGHT, AND EQUIPMENT RENTAL DEPOSITS). THEREFORE, FOLLOWING ALL OF THE ABOVE GUIDELINES, ESPECIALLY WITH RESPECT TO DISLOSING EXCESSIVELY ROCKY CONDITIONS, PROHIBITING THE USE OF LARGE ROCKS, CEMENT, ETC. IN BACKFILL MATERIALS, AND PROVIDING THE PROJECT MANAGER AN ACCURATE TIMELINE, WILL SAVE BOTH MONEY AND TIME.



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

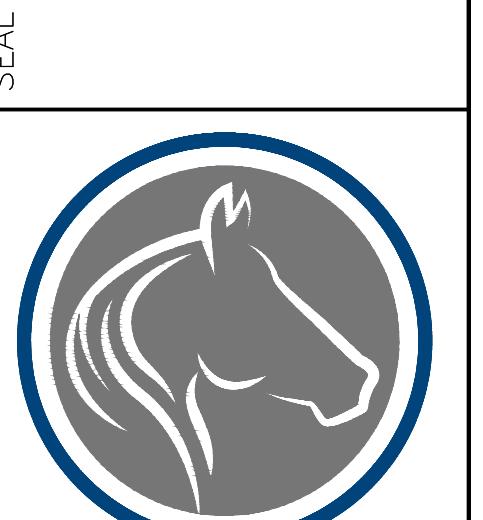
Designed By: JST
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Job File Number: MILT-0018A
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DATE: SEPTEMBER 7, 2021

DATE REVISIONS
10/19/2021 PB 10/14/21

NOT TO SCALE



**PLAYGROUND DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS**

**PLAYGROUND
DETAILS
(5 of 13)**

C1.3

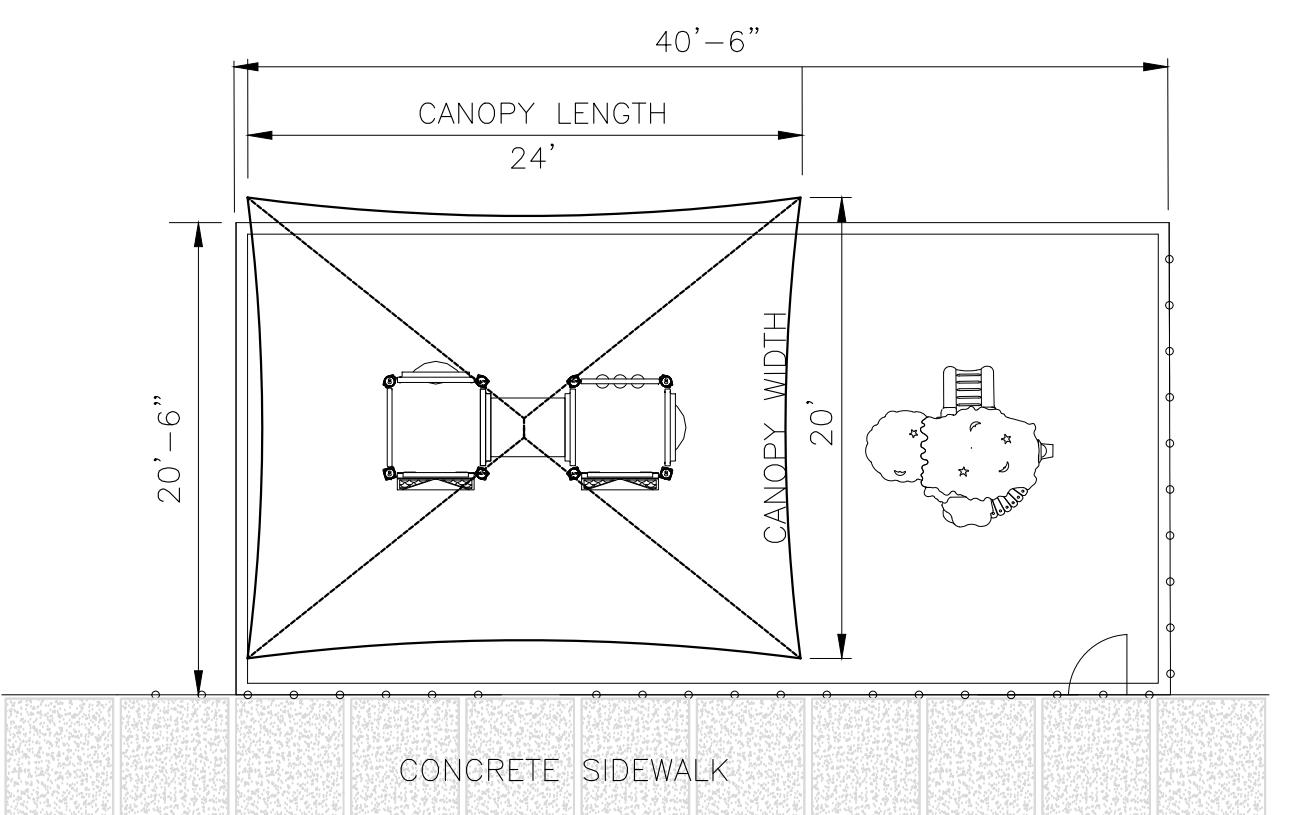
POUR & PLACE

40'-6" x 20'-6"

(6" ADDED TO THE SIDE
WHERE FENCE IS LOCATED)

CANOPY

24' x 20'



INFANT/TODDLER PLAY STRUCTURE

NOT TO SCALE



11 TODDLER PLAYGROUND RENDERING

TODDLER PLAYGROUND RENDERING

NTS

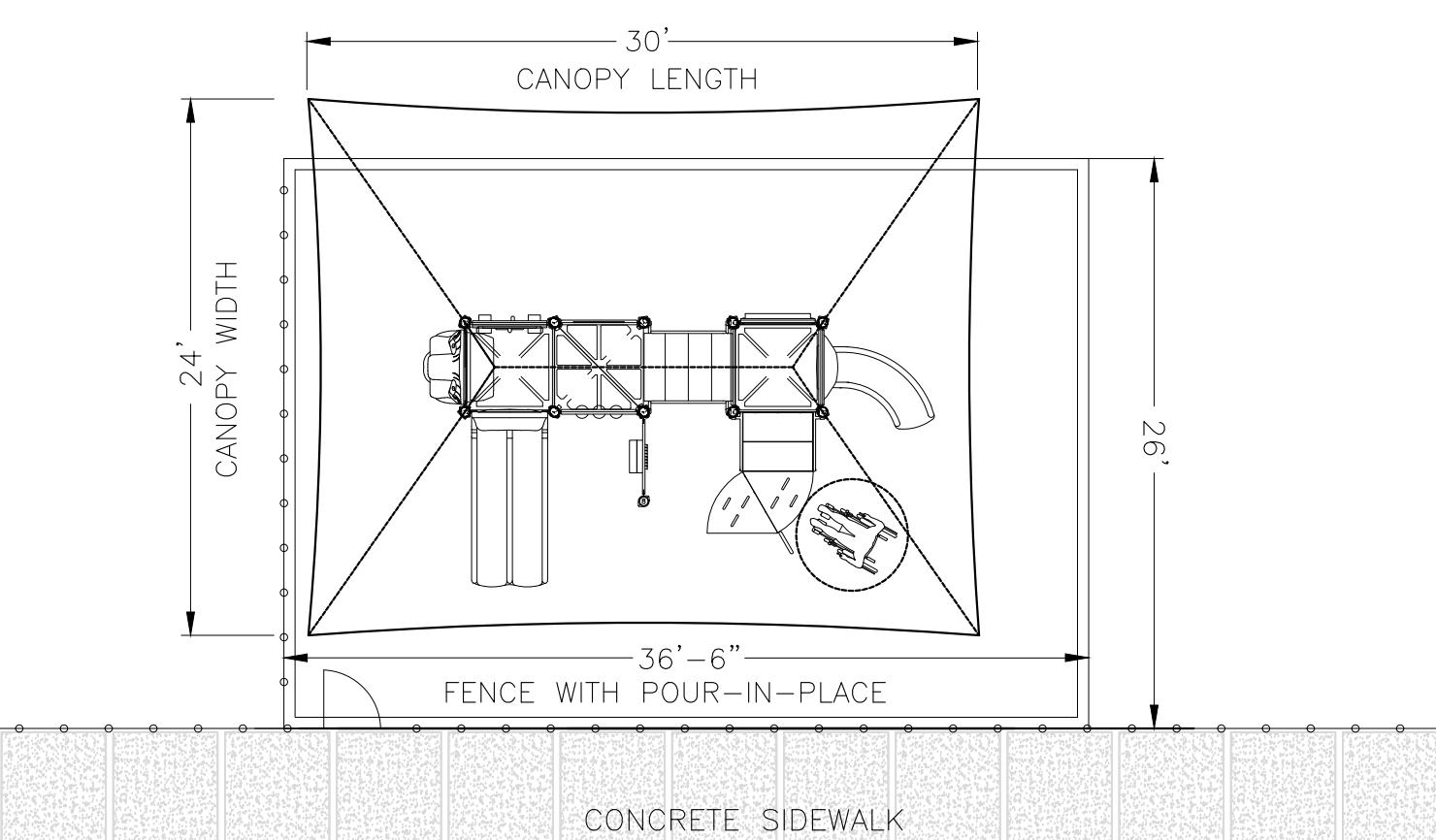
POUR & PLACE

36'-6" x 26'

(6" ADDED TO THE SIDE
WHERE FENCE IS LOCATED)

CANOPY

30' x 24'



PRESCHOOL PLAY STRUCTURE

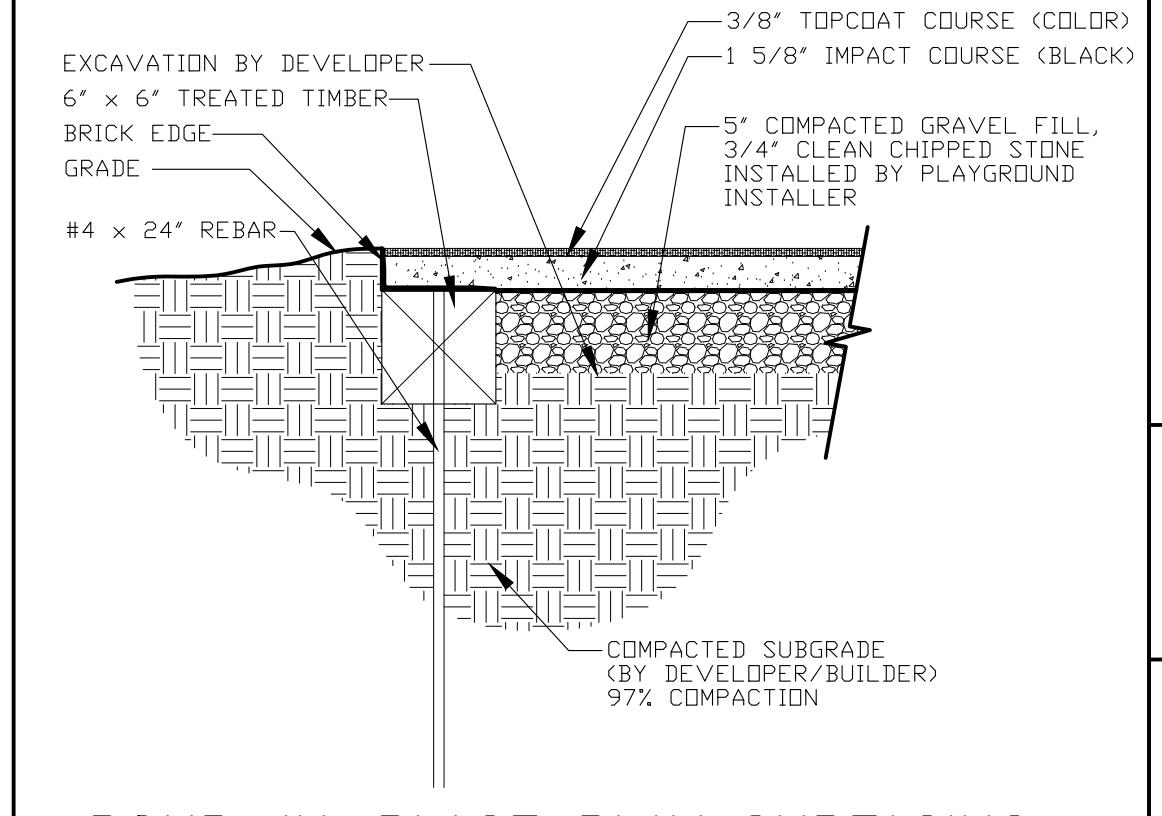
NOT TO SCALE



12 PRESCHOOL PLAYGROUND RENDERING

PRESCHOOL PLAYGROUND RENDERING

NTS



POUR-IN-PLACE PLAY SURFACING
NTS



Owner/Applicant:
Verm Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

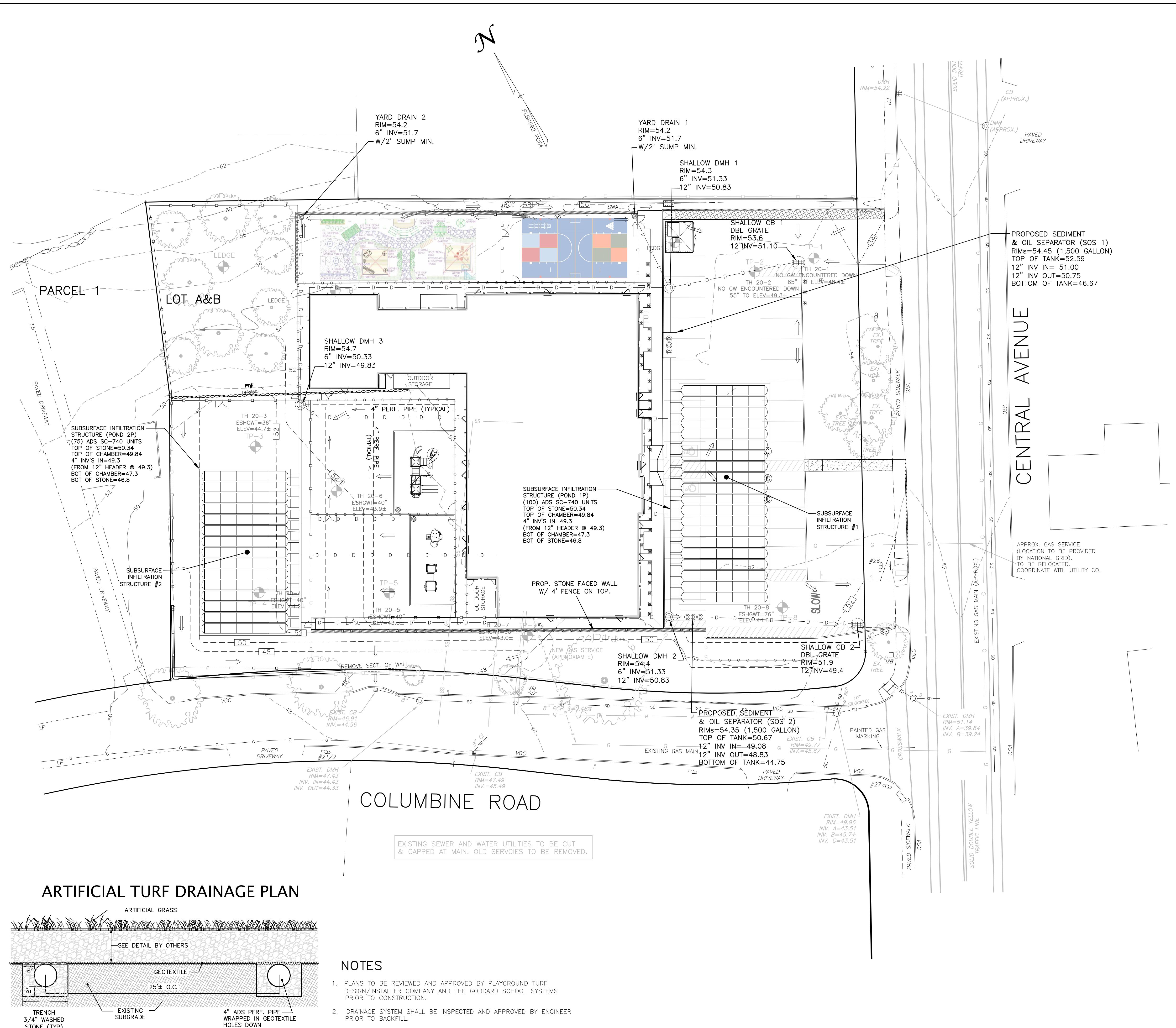
DRAWING ISSUED FOR REVIEW ONLY
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DATE: SEPTEMBER 7, 2021

DATE **REVISIONS**

0' 10' 20' 40'
SCALE: 1"=20'





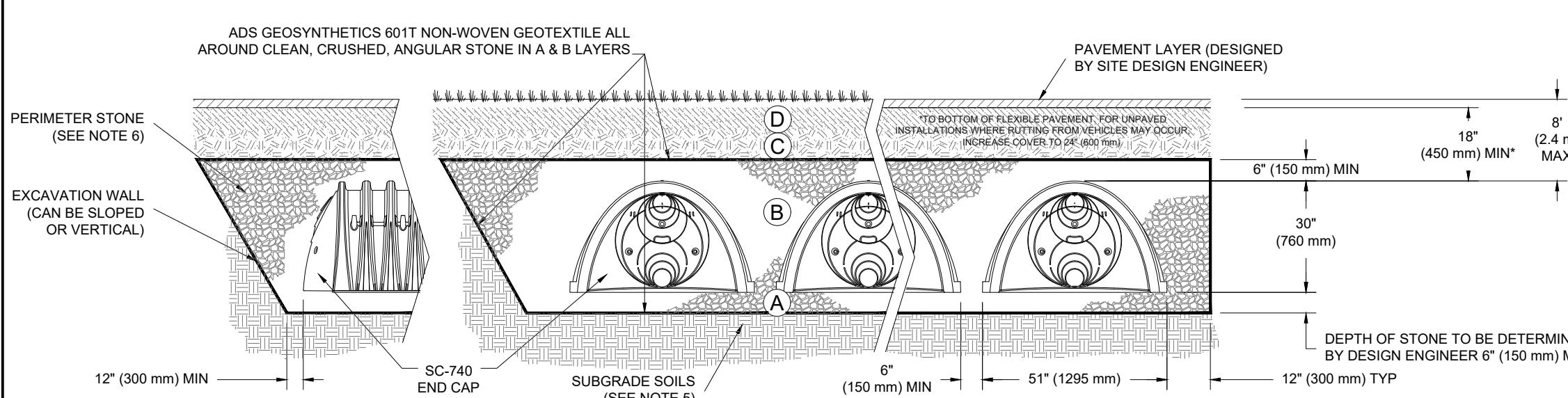
<p>WILLIAMS & SPARAGES 181 NORTH MAIN STREET MIDDLETON, MA 01949 PHONE: (978) 448-8200 FAX: (978) 448-8200 WSGNEERS.COM</p> <p>Owner/Applicant: Verma Holdings LLC 21 Coach Road North Attleboro, MA 02760 Mobile: 508-736-1200 sunnyverma@hotmail.com</p> <p>Designed By: JST Drawn By: JST Reviewed By: PMB Project Manager: JST Job File Number: MILT-0018A Drawing File Folder: MILT18A</p> <p><input type="checkbox"/> DRAWING ISSUED FOR REVIEW ONLY <input checked="" type="checkbox"/> DRAWING ISSUED FOR PERMIT <input type="checkbox"/> DRAWING ISSUED FOR CONSTRUCTION</p> <p>DATE: SEPTEMBER 7, 2021 DATE REVISIONS</p> <p>0' 10' 20' 40' SCALE: 1"=20'</p> <p></p>
<p>DRAINAGE PLAN THE GODDARD SCHOOL 193 CENTRAL AVENUE MILTON, MASSACHUSETTS</p> <p>LEGEND OF ABBREVIATIONS & SYMBOLS</p> <p>EXISTING CONTOUR EXISTING SPOT ELEVATION EXIST. BITUMINOUS BERM EXIST. FENCE APPROXIMATE WATER APPROXIMATE SEWER APPROX. SEWER SERVICE APPROX. STORM DRAIN APPROXIMATE GAS APPROXIMATE ELECTRIC OVERHEAD WIRES EXIST./PROP. SEWER MANHOLE EXIST./PROP. DRAIN MANHOLE EXIST. CATCH BASIN EXIST. HYDRANT EXIST. WATER GATE EXIST. GAS GATE BENCH MARK LIGHT TRAFFIC FLOW SIGN WALL UTILITY POLE PROP. CONTOUR PROP. SPOT GRADE DRAINAGE FLOW DIRECTION DRAIN CLEANOUT YARD DRAIN PROPOSED BOLLARD CHARGING STATION COMPACT SPACE (8'x16') BENCH (TBD BY OWNER) PROPOSED DRAIN PROPOSED SEWER PROPOSED WATER PROPOSED UNDERDRAIN PROPOSED 4" PERF. PIPE</p>

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION		DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER		ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.		GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 BEGIN COMPACTION AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.		CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.		CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

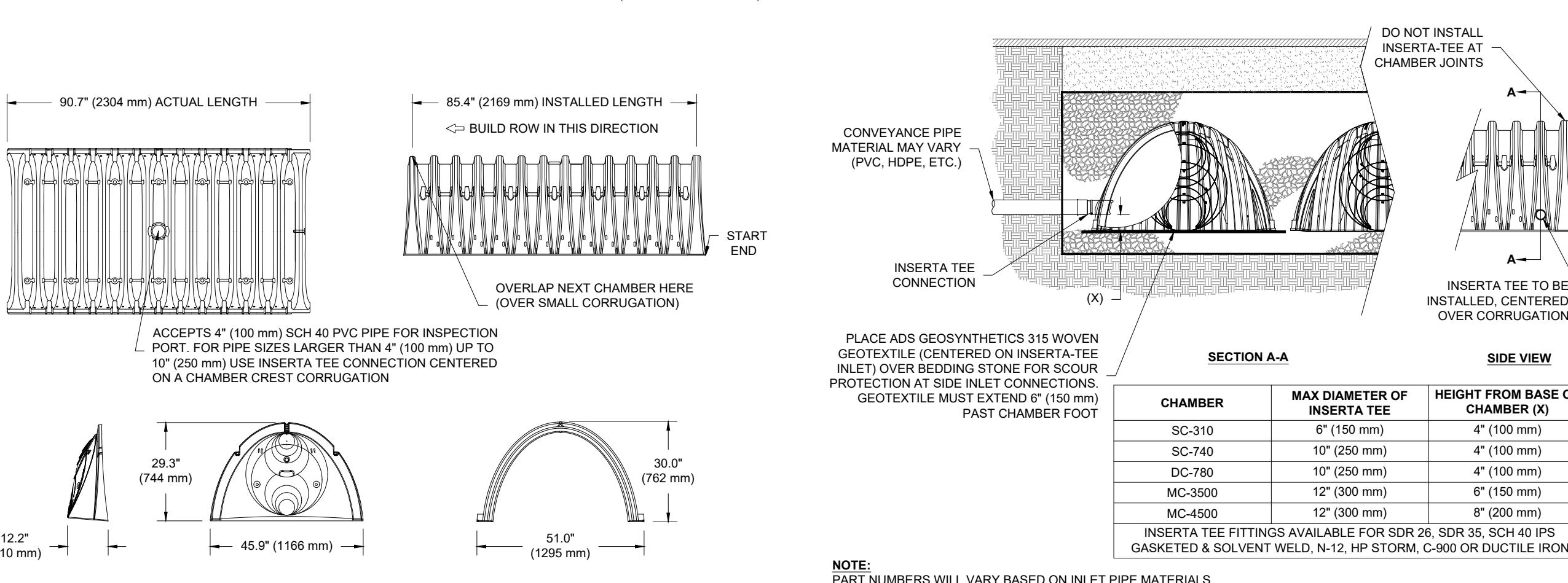
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CROSS SECTION
(NOT TO SCALE)



MINAL CHAMBER SPECIFICATIONS		
WIDTH (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4"	(1295
AMBER STORAGE	45.9 CUBIC FEET	(1.30
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET	(2.12
WEIGHT	75.0 lbs.	(33.6



STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EPE06T / SC740EPE06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	---
SC740EPE06B / SC740EPE06BPC			---	0.5" (13 mm)
SC740EPE08T / SC740EPE08TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EPE08B / SC740EPE08BPC			---	0.6" (15 mm)
SC740EPE10T / SC740EPE10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EPE10B / SC740EPE10BPC			---	0.7" (18 mm)
SC740EPE12T / SC740EPE12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	---
SC740EPE12B / SC740EPE12BPC			---	1.2" (30 mm)
SC740EPE15T / SC740EPE15TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740EPE15B / SC740EPE15BPC			---	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EPE18B / SC740EPE18BPC			---	1.6" (41 mm)
SC740EPE24B*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

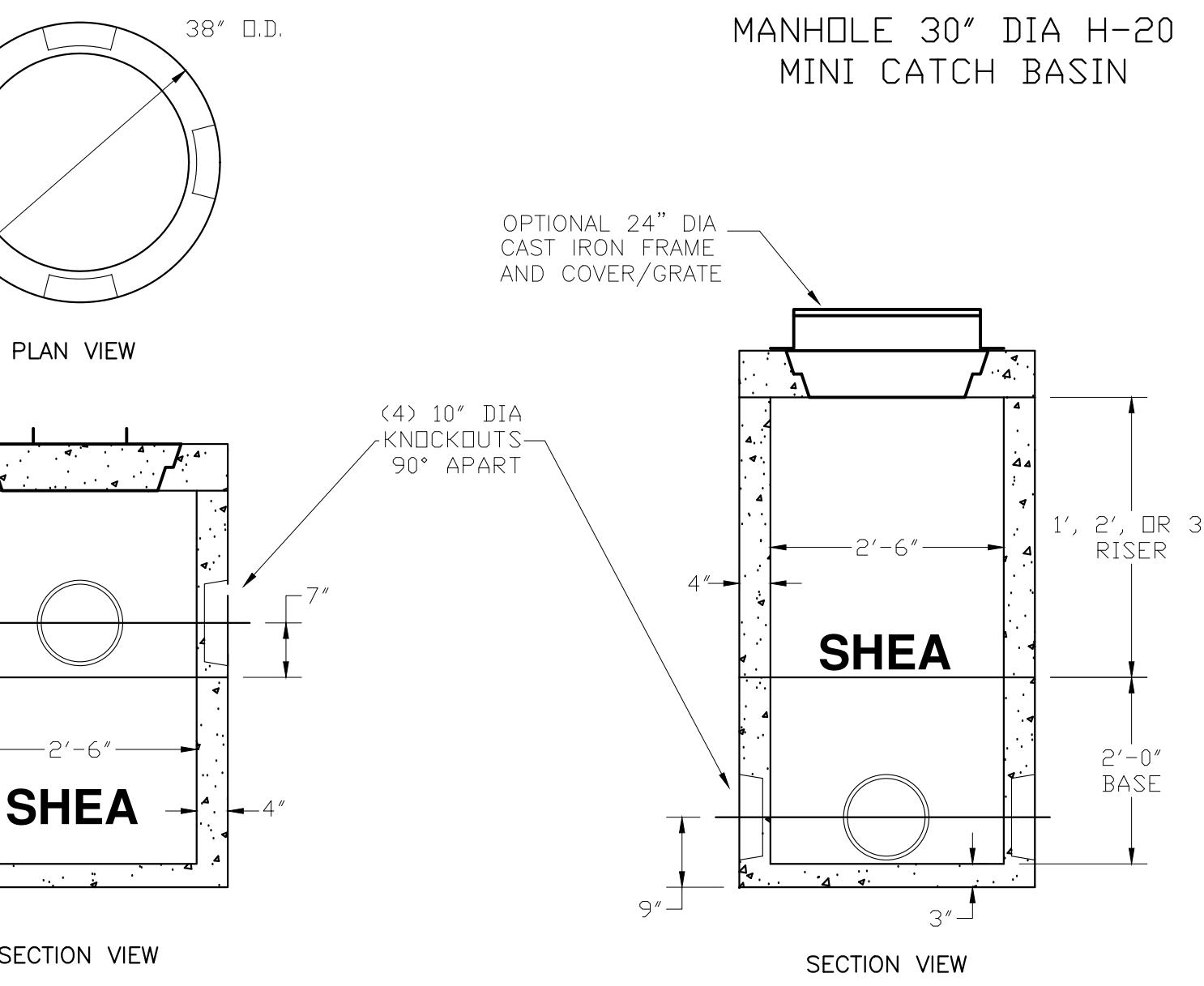
ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

STORMTECH SC-740 TECHNICAL SPECIFICATIONS

MODEL SHOWN MAY BE SUBSTITUTED WITH A SUITABLE EQUIVALENT

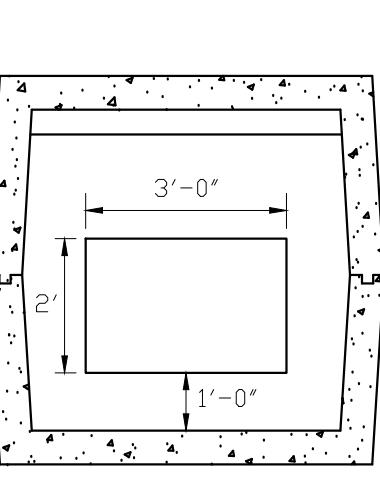
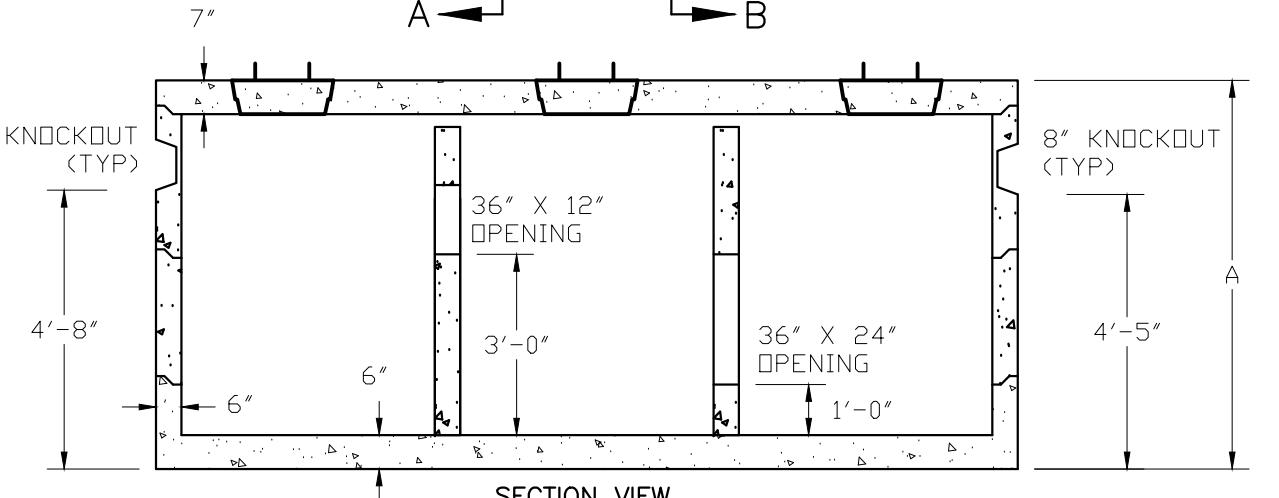
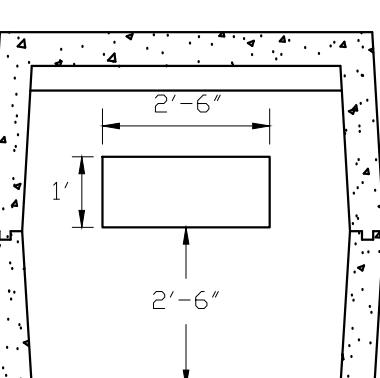
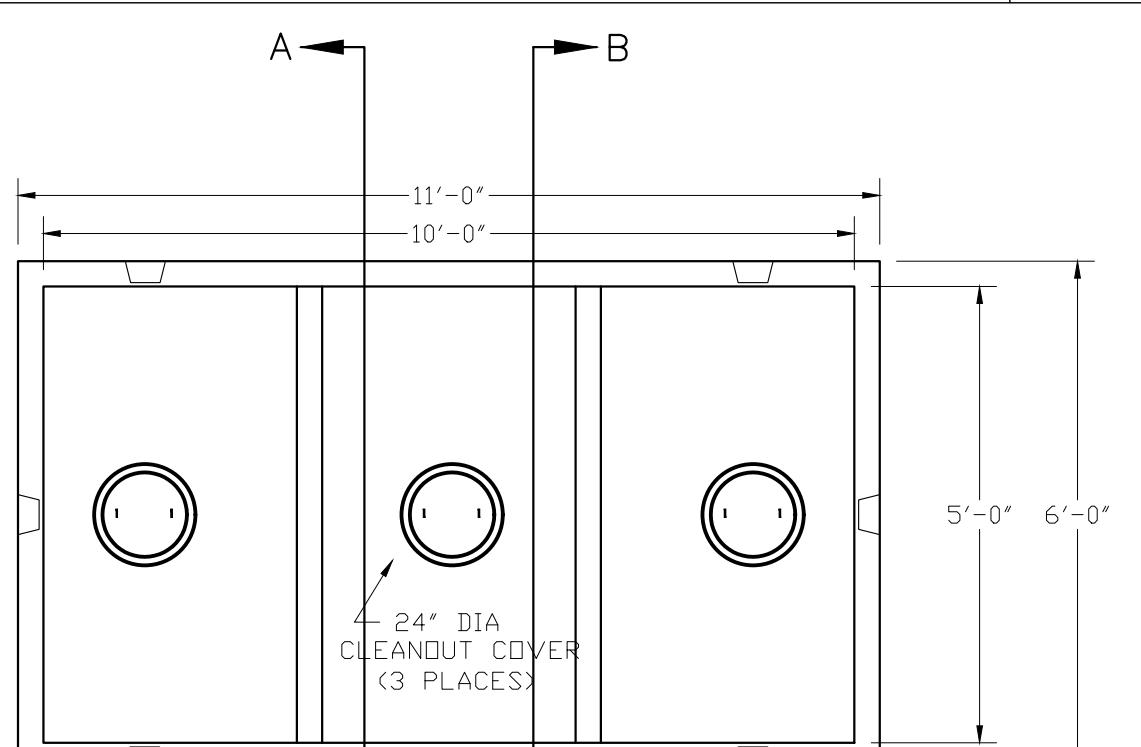
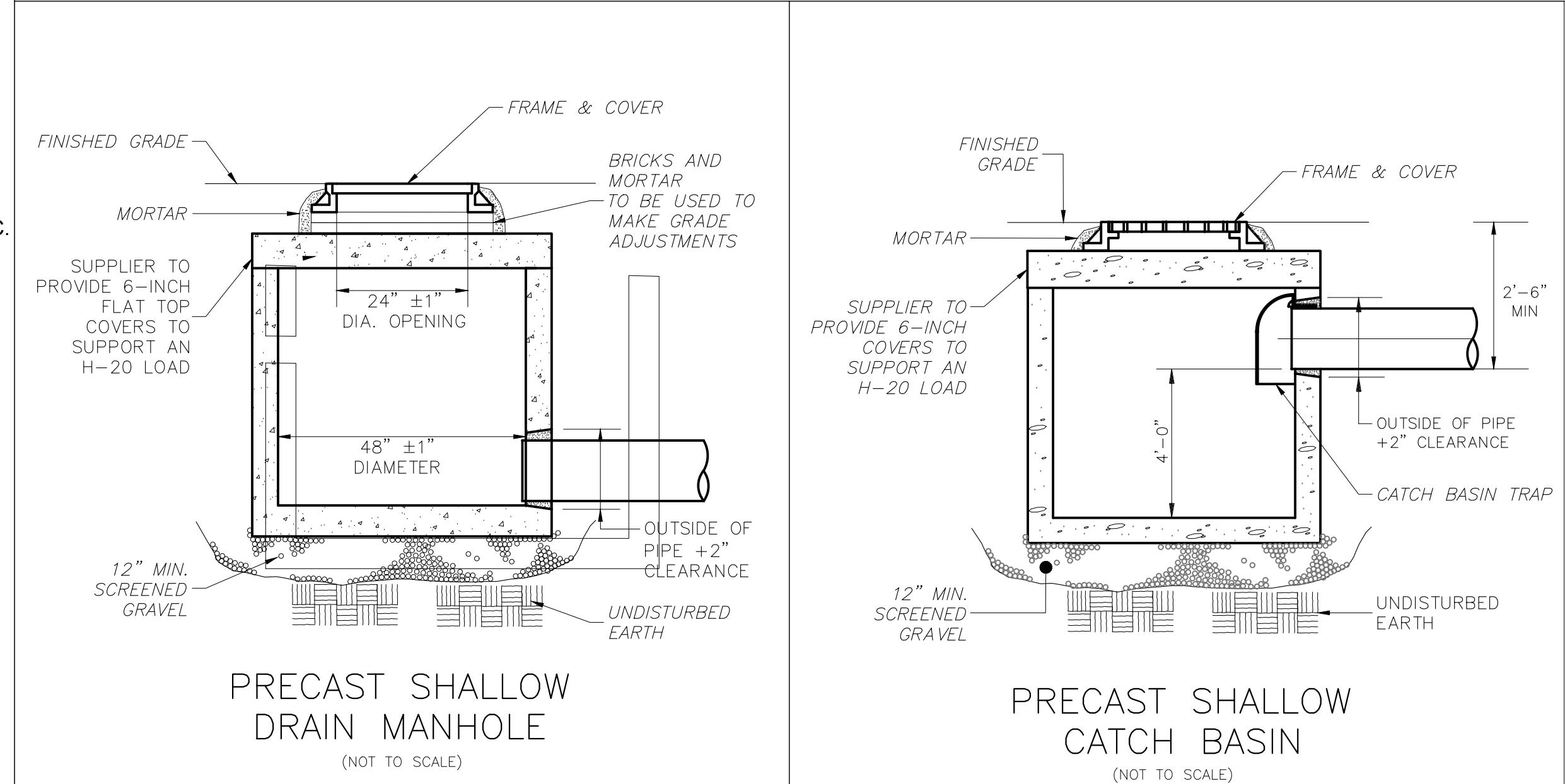


NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H-20 LOADING.

SECTIONS	ITEM NO	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24SH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#

NO SCALING



SEDIMENT AND OIL SEPARATOR DETAIL

NOTES:

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H-20 LOADING. ALSO AVAILABLE IN H-10 LOADING WITH 3" WALL.

DRAIANGE DETAIL PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

DRAINAGE DETAIL PLAN (8 of 12)

C2_3



Owner/Applicant:
Verna Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

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 DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE | REVISIONS

SEAL



PHOTOMETRIC PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

PHOTOMETRIC
PLAN
(10 of 13)

C4.1

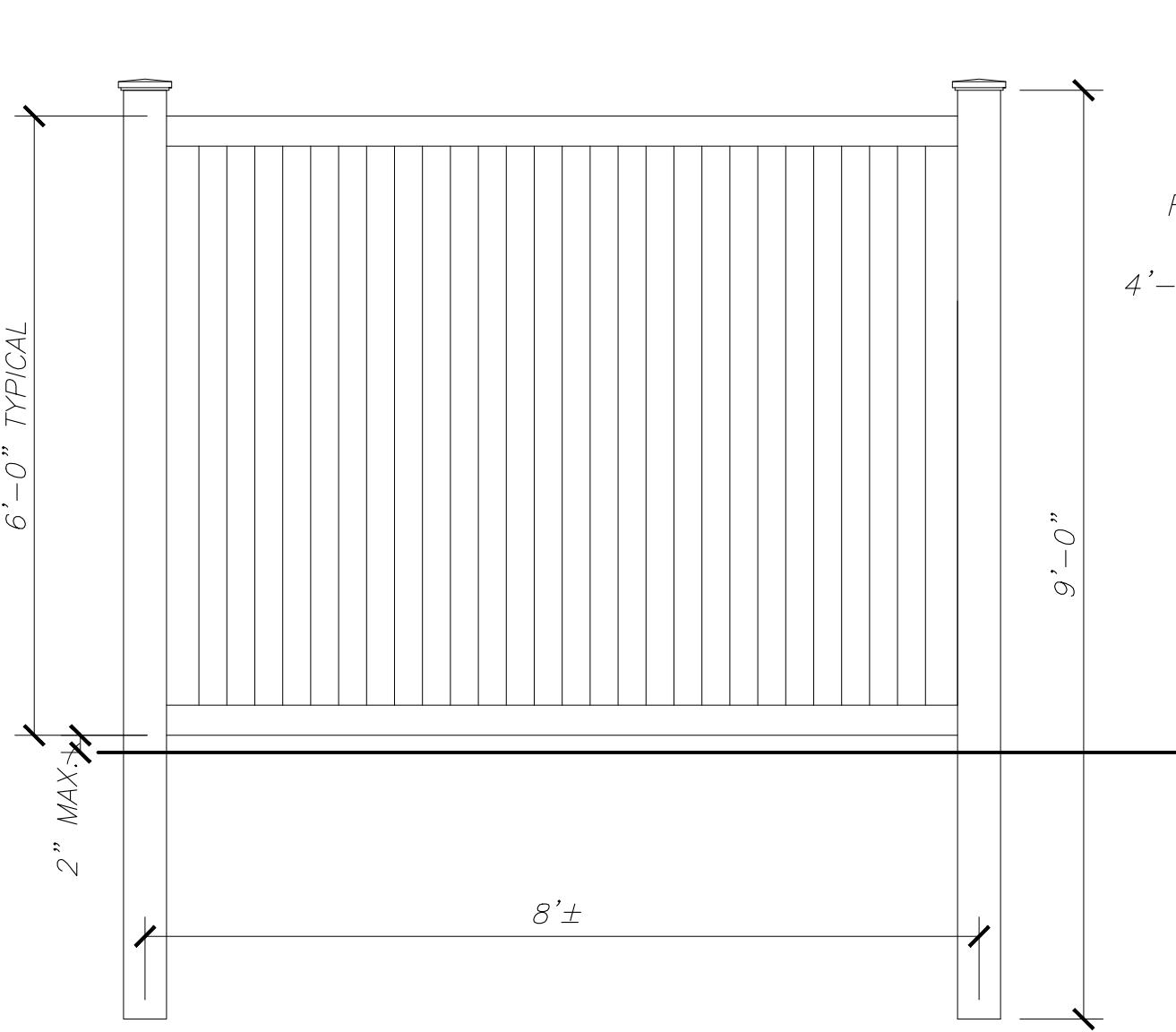


SITE DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

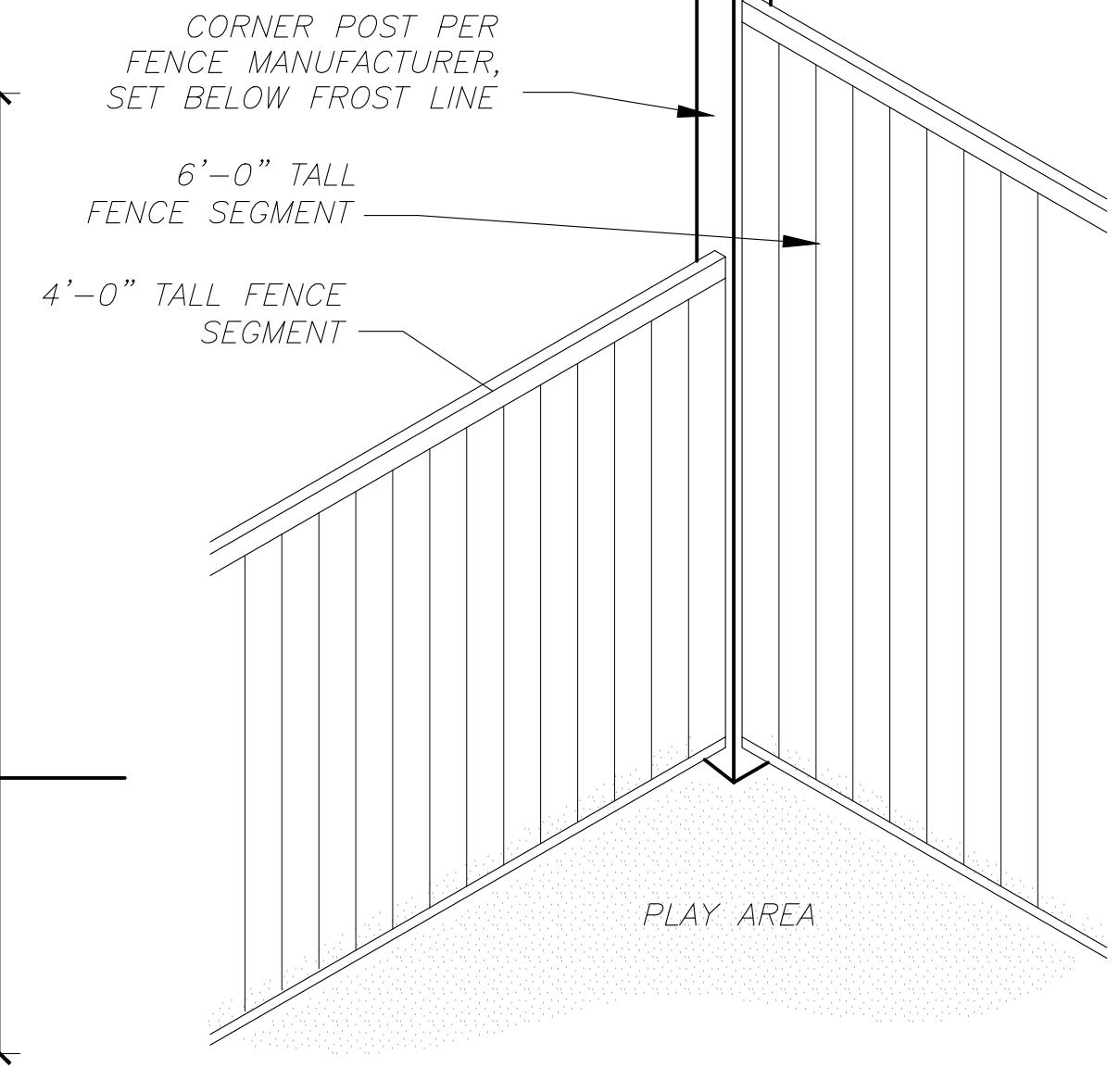
SITE DETAILS
(11 of 13)

C5.1

NOTE: GSI SPECIFICATION MANUAL INDICATES VINYL FENCING.

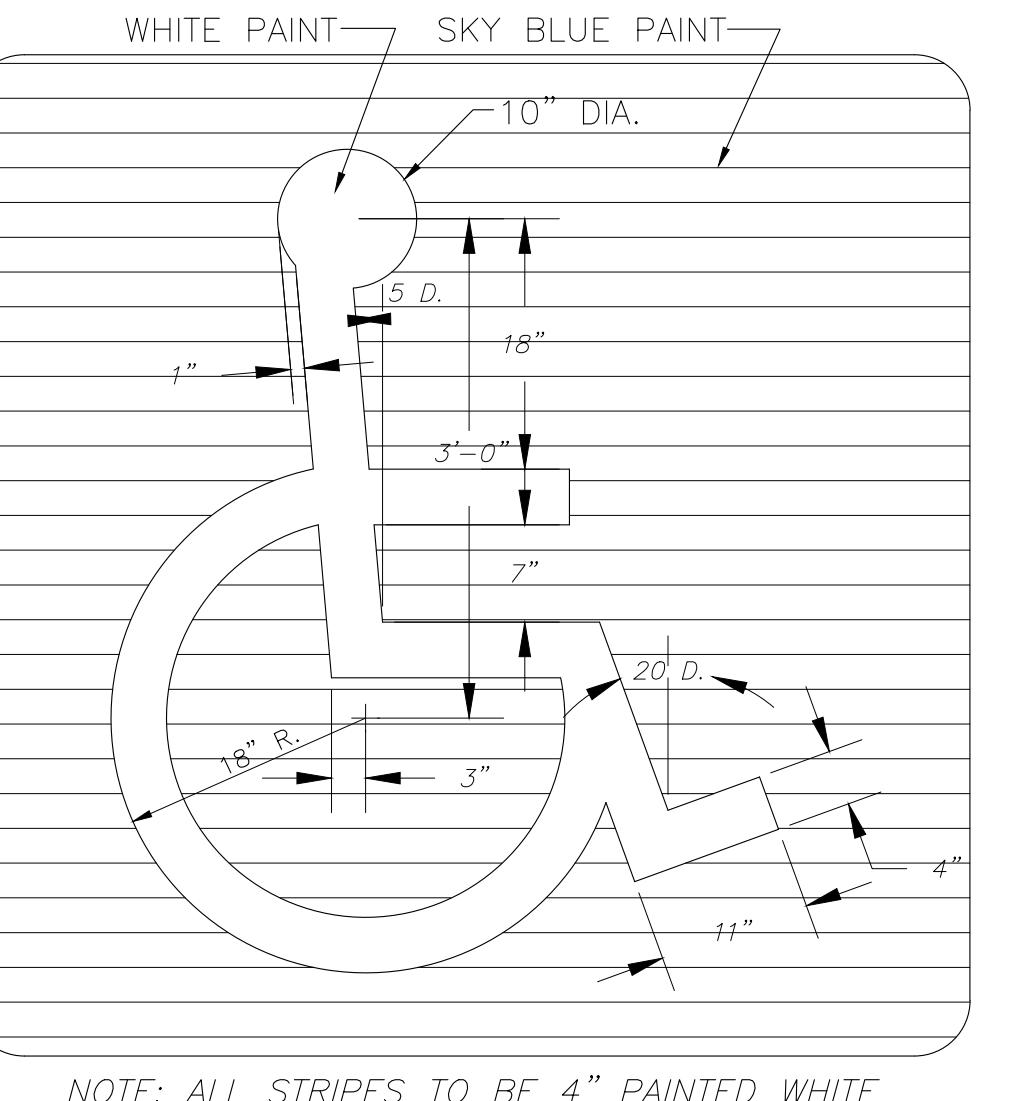


VINYL FENCE DETAIL
 (NOT TO SCALE)

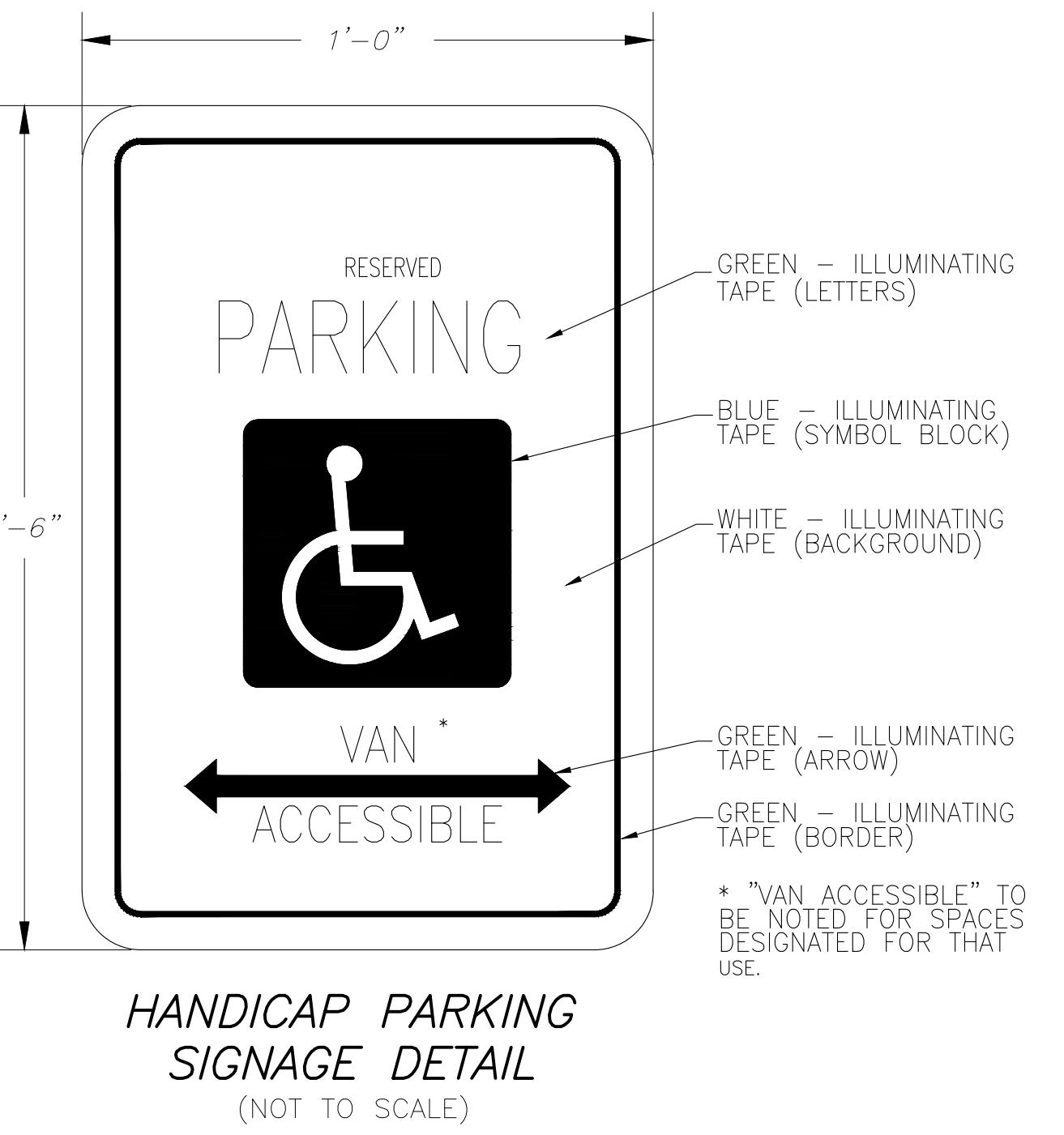


VINYL FENCE TRANSITION DETAIL
 (NOT TO SCALE)

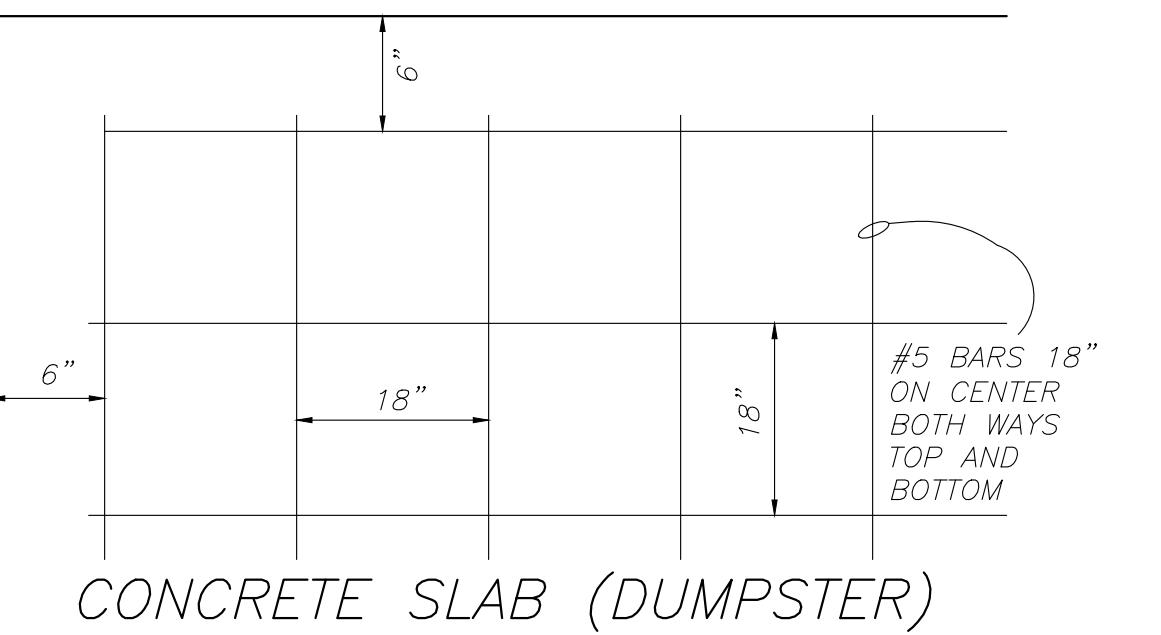
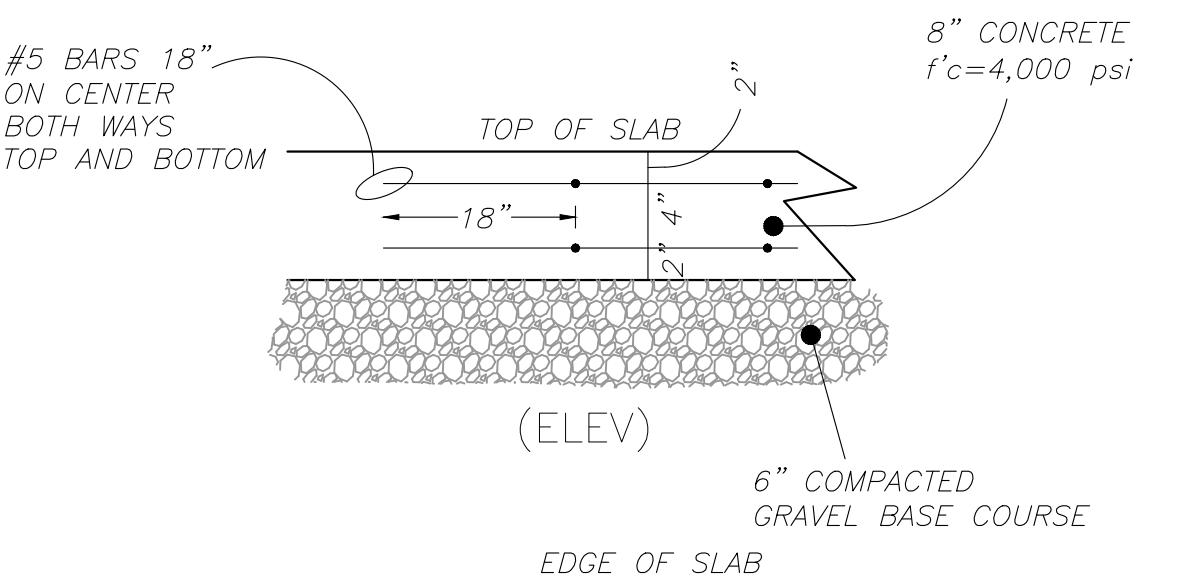
ALL FENCE TO BE VINYL
 PRIVACY FENCE



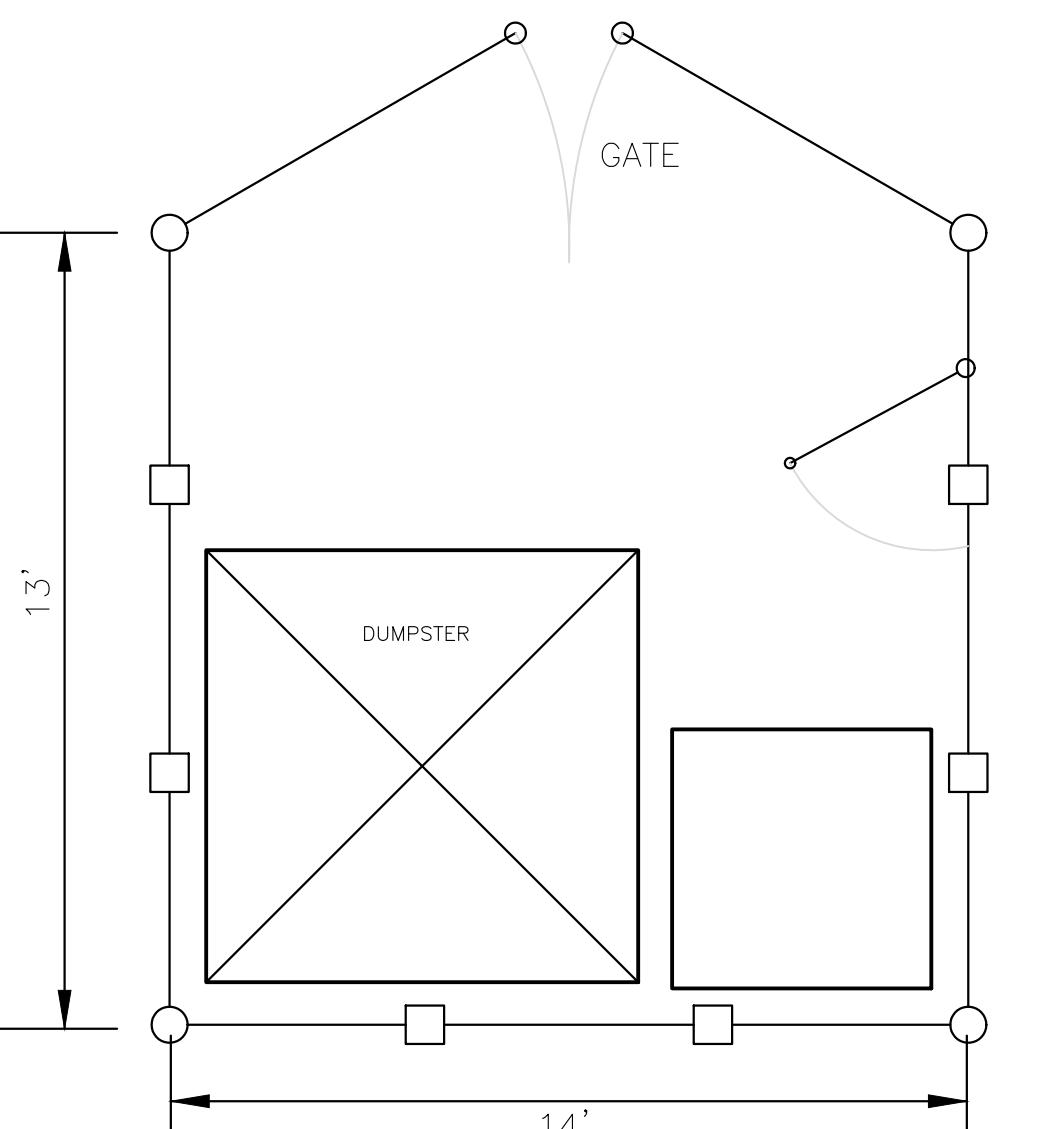
PAINTED HANDICAP SYMBOL DETAIL
 (NOT TO SCALE)



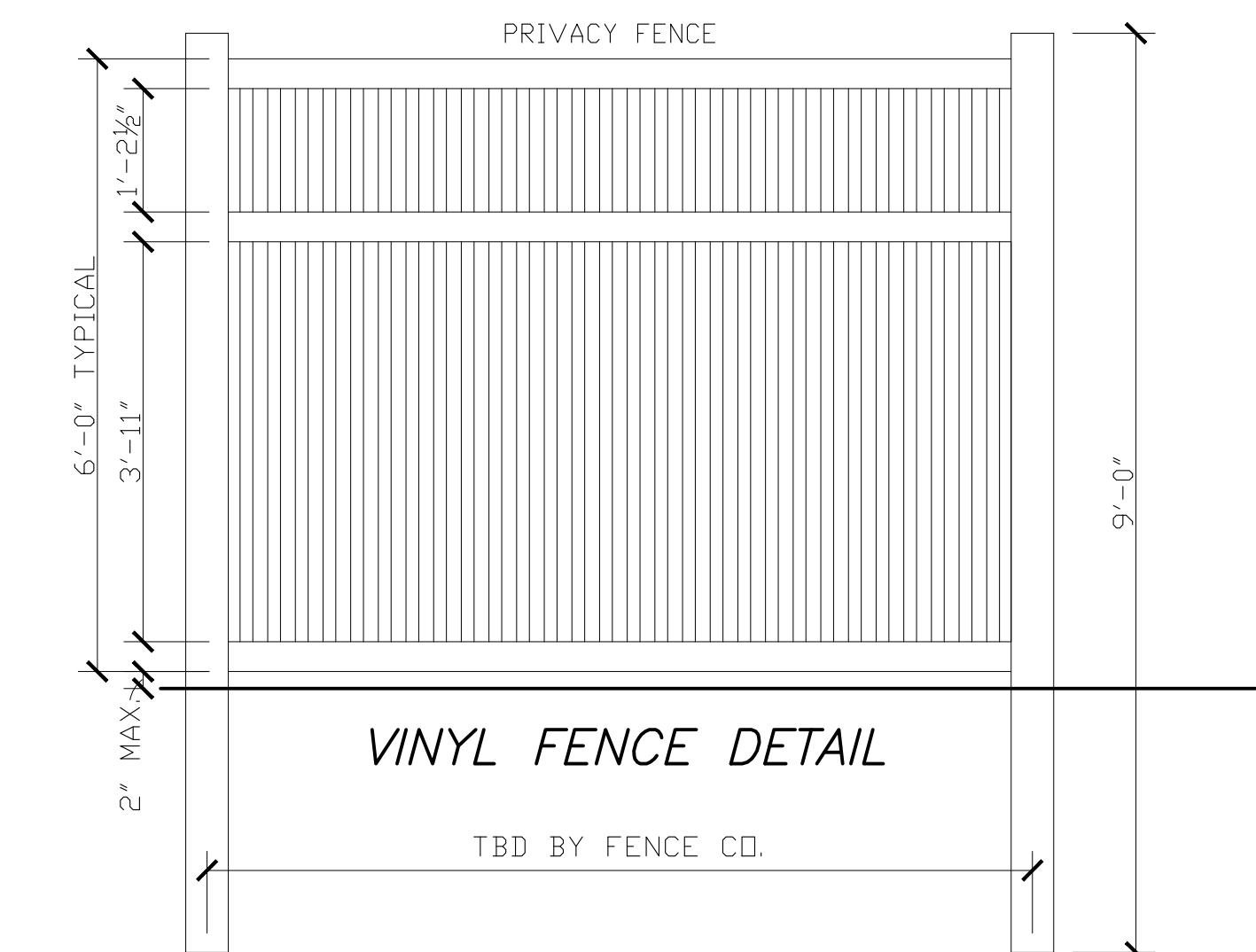
HANDICAP PARKING SIGNAGE DETAIL
 (NOT TO SCALE)



CONCRETE SLAB (DUMPSTER)



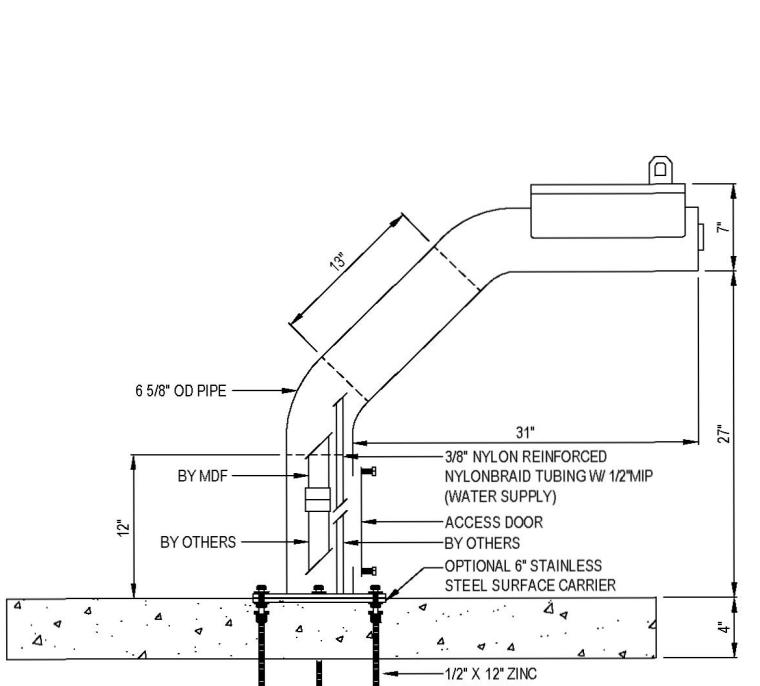
TRASH ENCLOSURE DETAILS
 (NOT TO SCALE)



VINYL FENCE DETAIL



MOST DEPENDABLE
 FOUNTAINS, INC.
 5705 COMMANDER DR, P.O. BOX 587
 ARLINGTON, TX 76002-0587
 TOLL FREE: 1-800-652-6331
 PHONE: (972) 263-0039
 FAX: (972) 263-0156
 www.mostdependable.com



NOTES:
 1. MEETS ADA REGULATIONS
 2. LOCATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 3. DO NOT SCALE DRAWING
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS
 5. THIS DRAWING IS NOT A CONSTRUCTION DRAWING AND MAY NOT BE USED FOR CONSTRUCTION
 6. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE
 7. THE PRODUCT MANUFACTURER'S WARRANTY AND COMPANY INFORMATION VISIT www.CADdetails.com and ENTER REFERENCE NUMBER 3544.7

910 SM
 SHOWN W/ OPTIONAL 1/2" SS SURFACE CARRIER
 DRINKING FOUNTAIN

REVISION DATE 12/20/2014

CADdetails.com

ALTERNATIVE CAN BE
 USED, TO BE
 APPROVED BY OWNER

Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

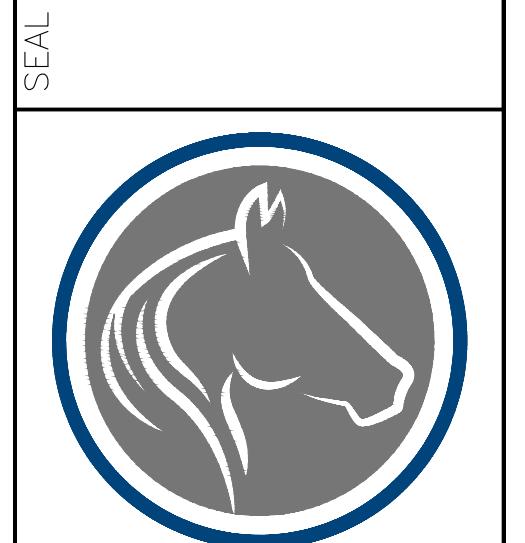
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DATE: SEPTEMBER 7, 2021

DATE | REVISIONS

UNDERGROUND
RAIN GUTTERS

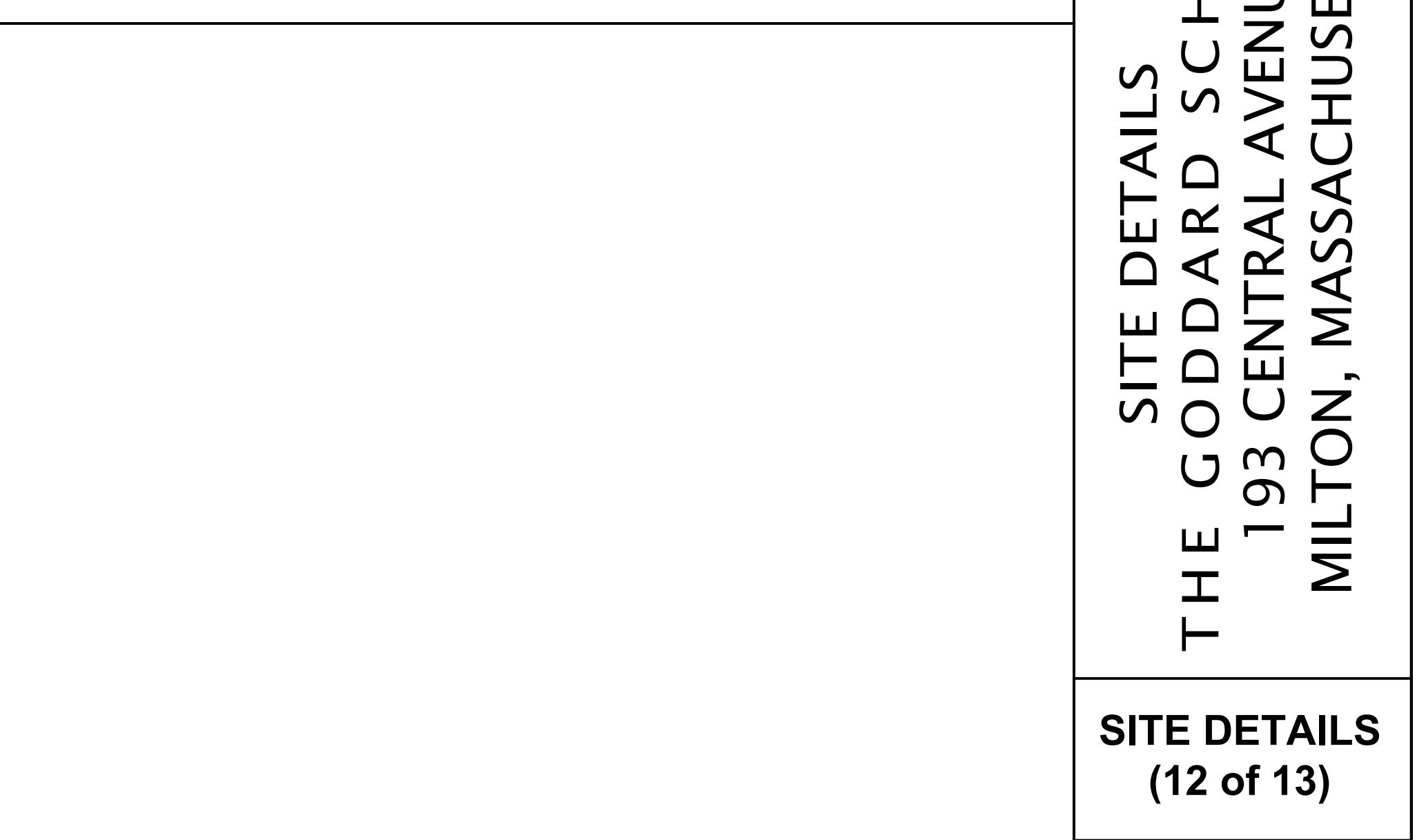
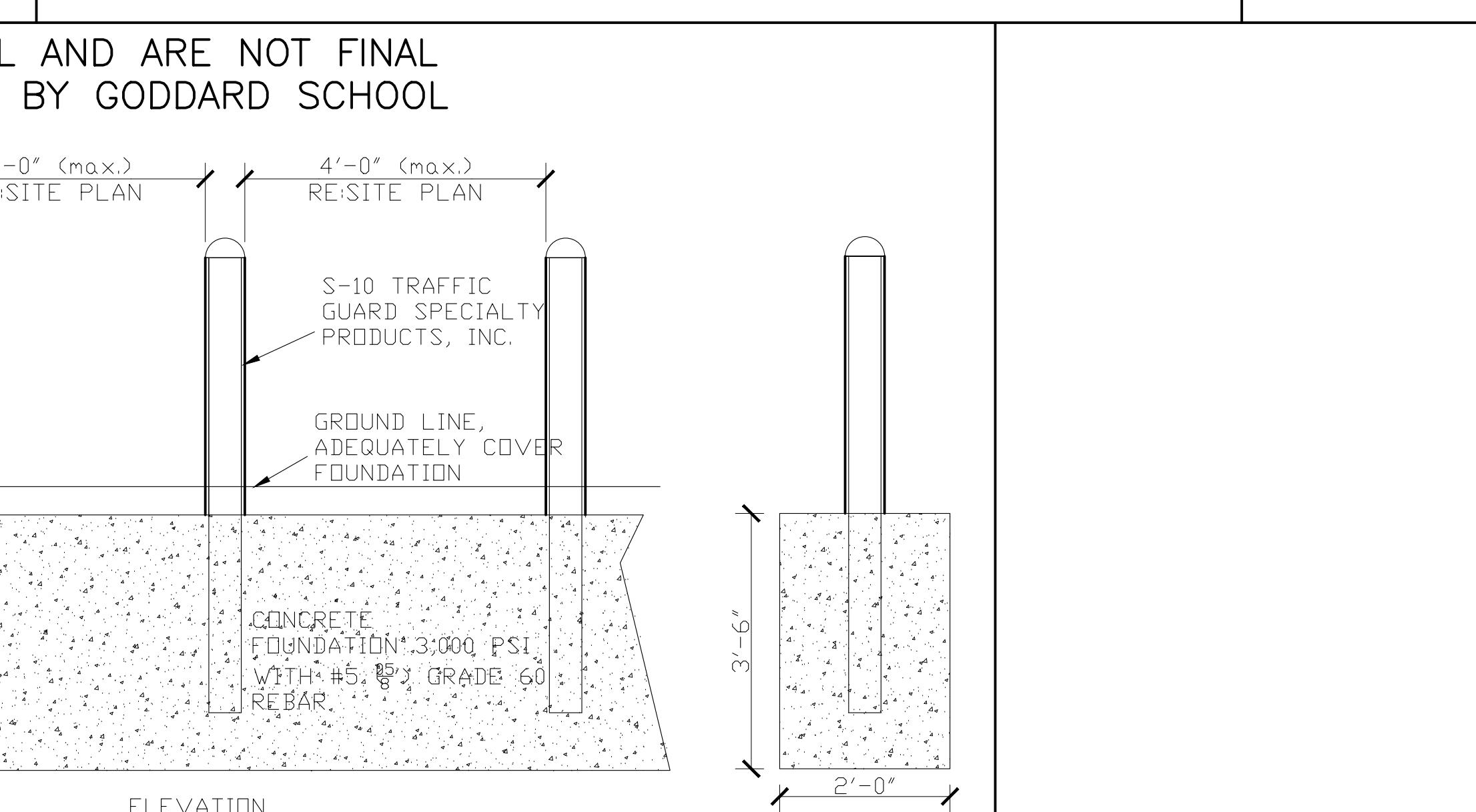
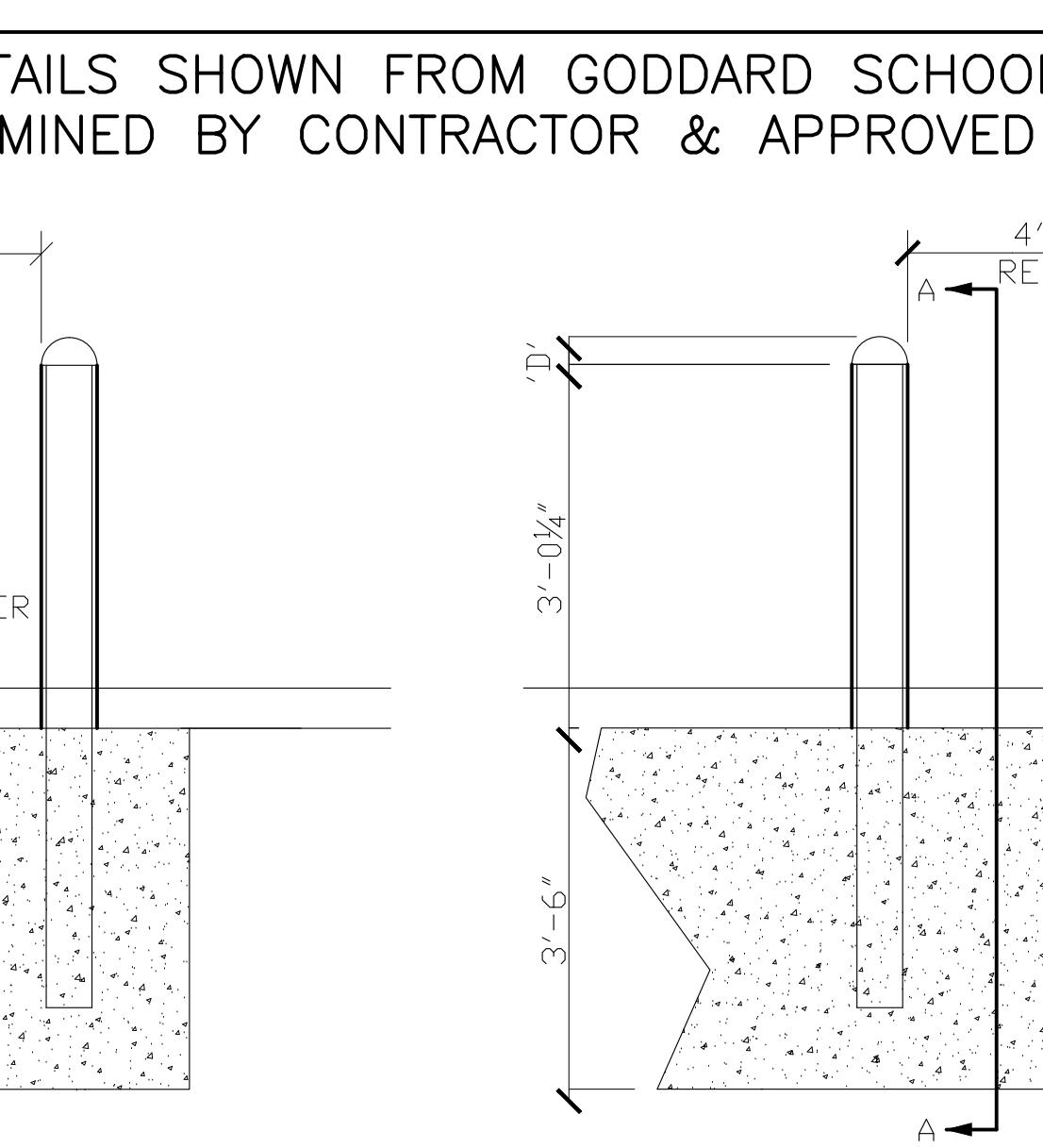
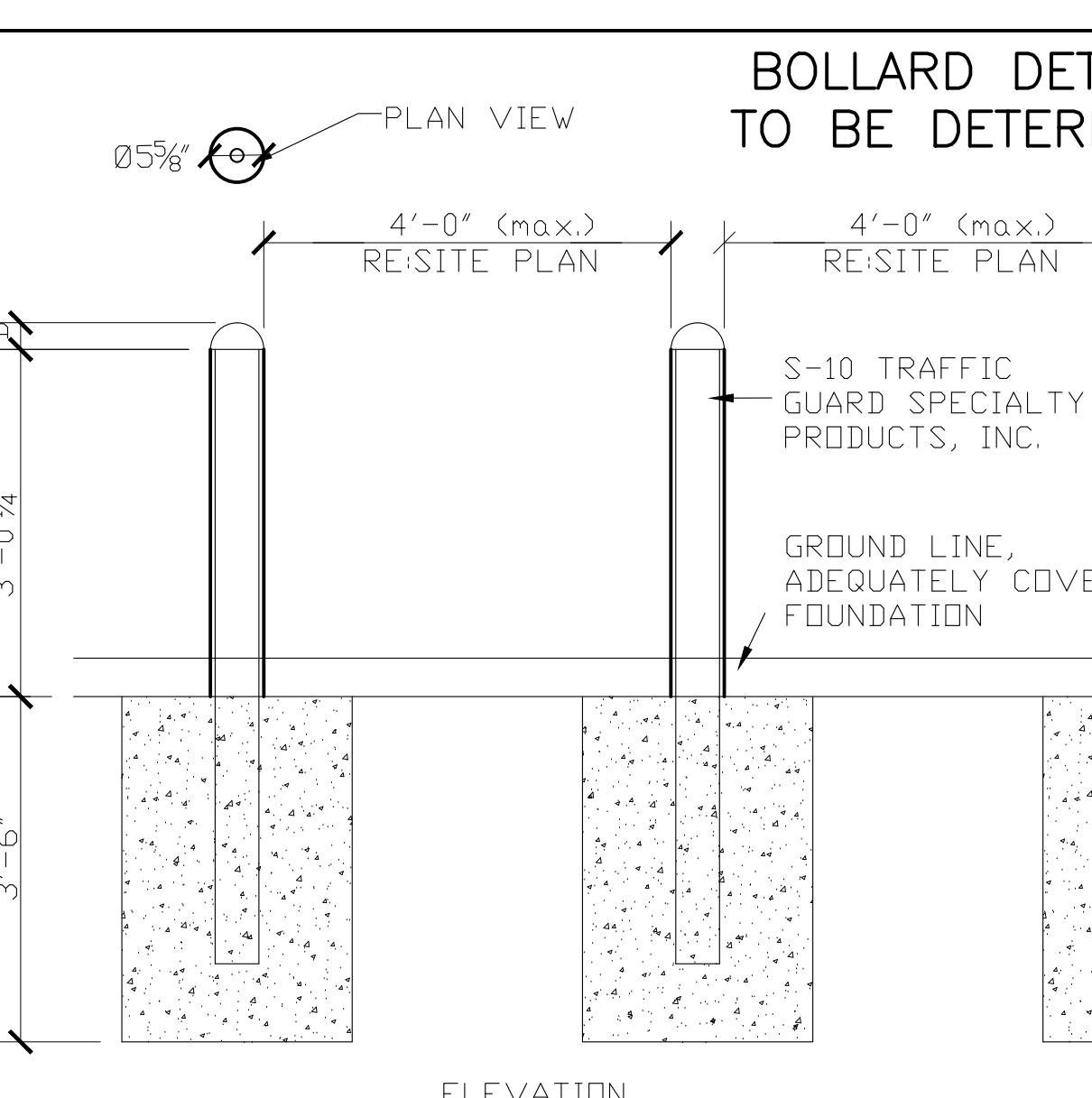
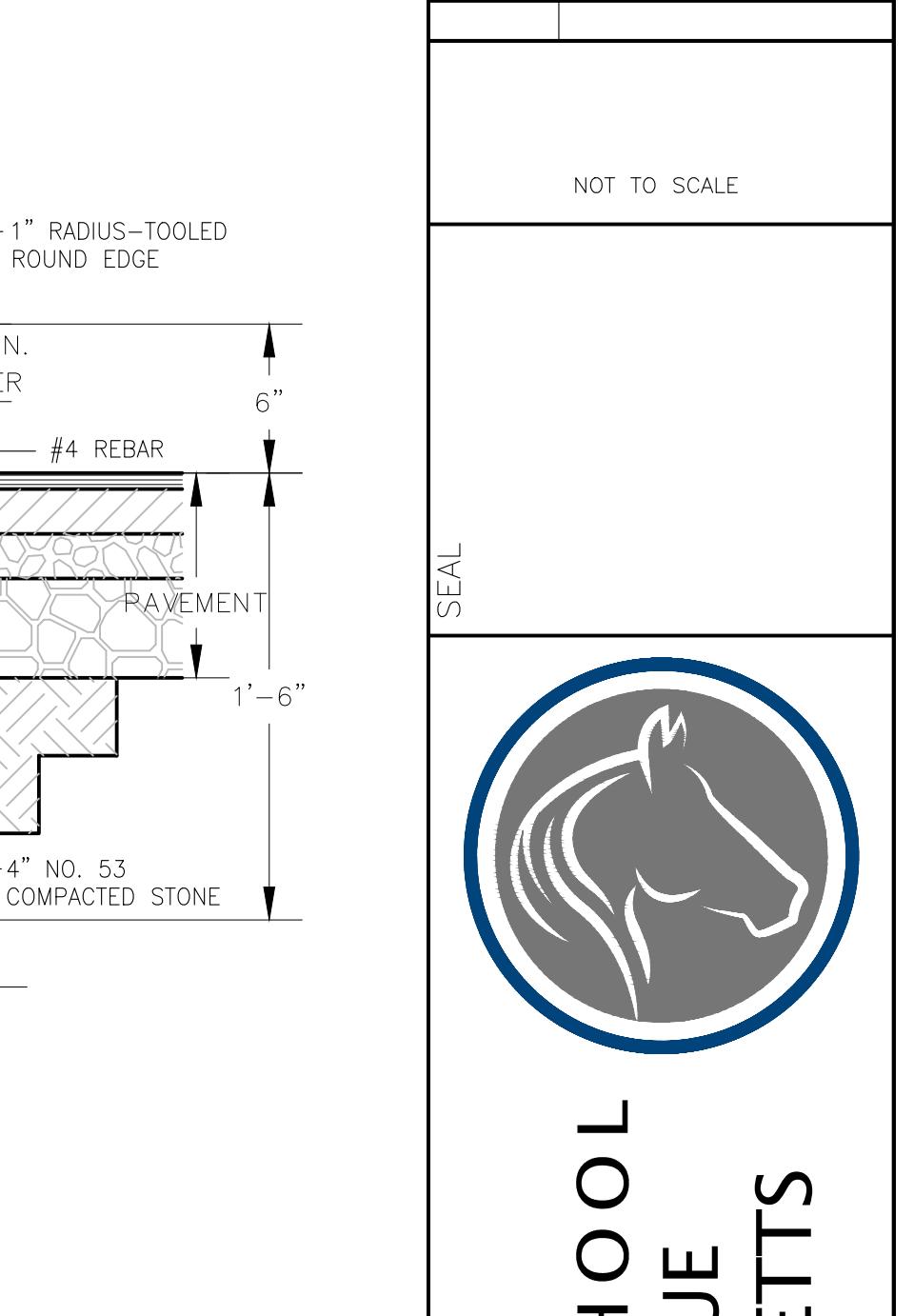
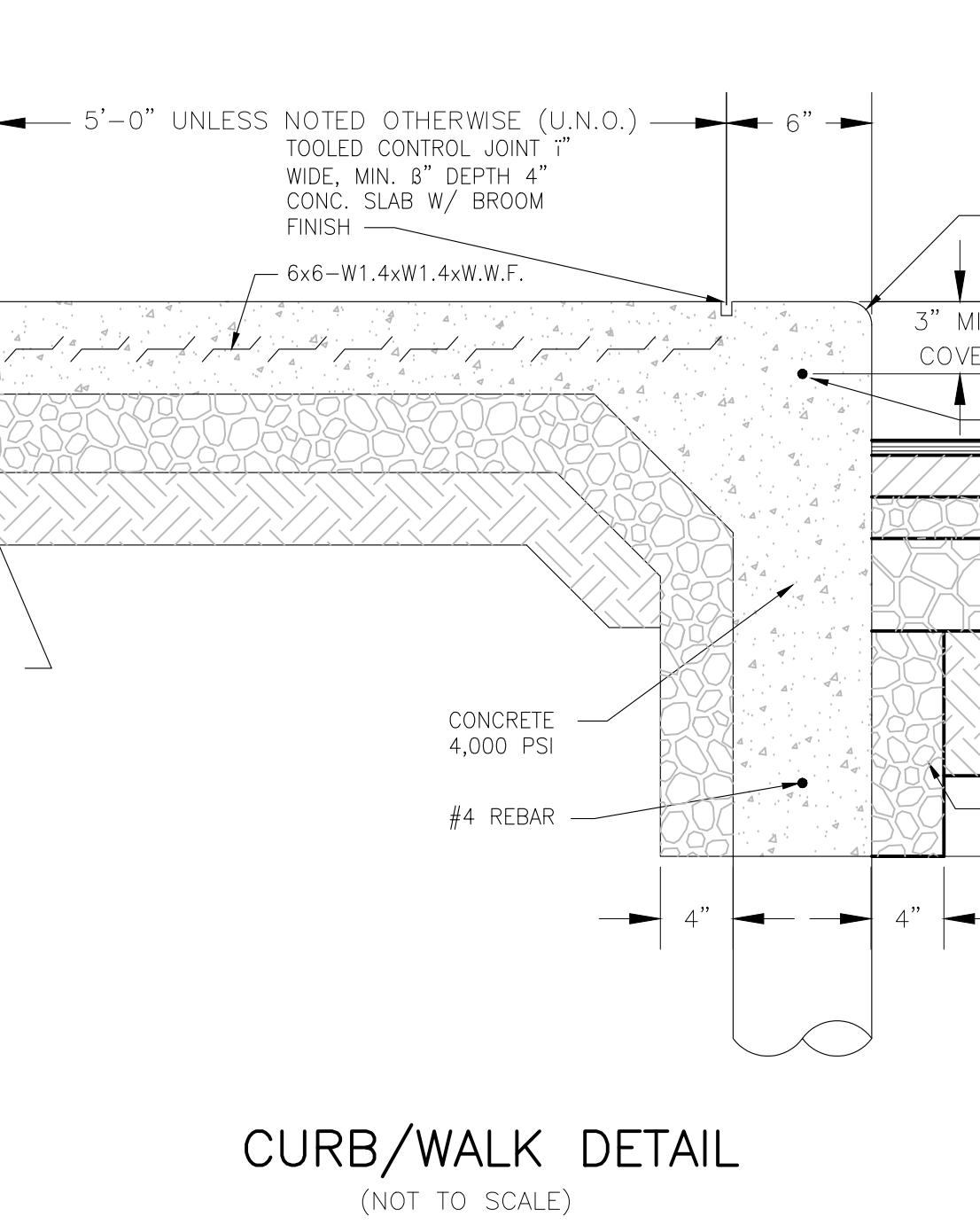
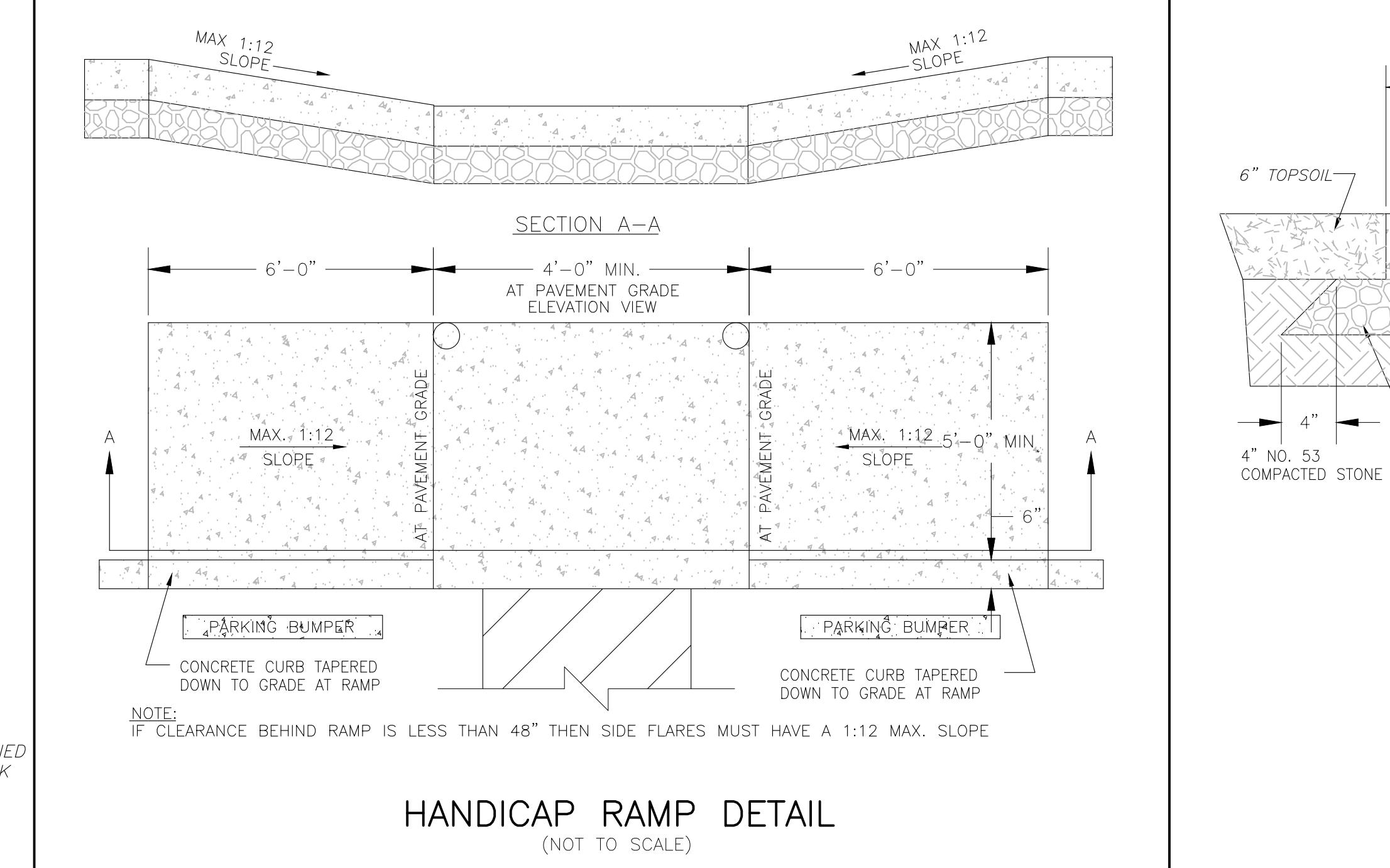
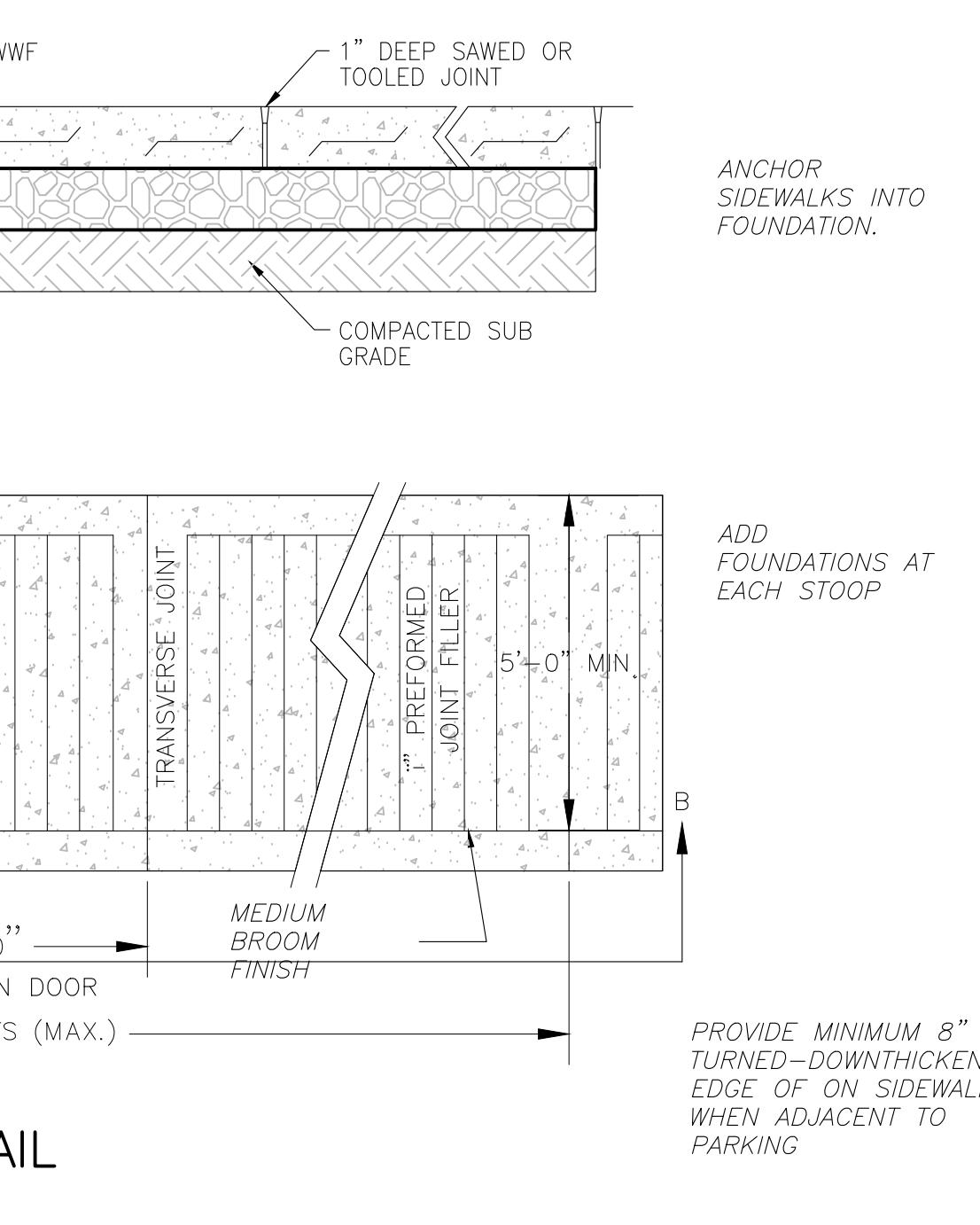
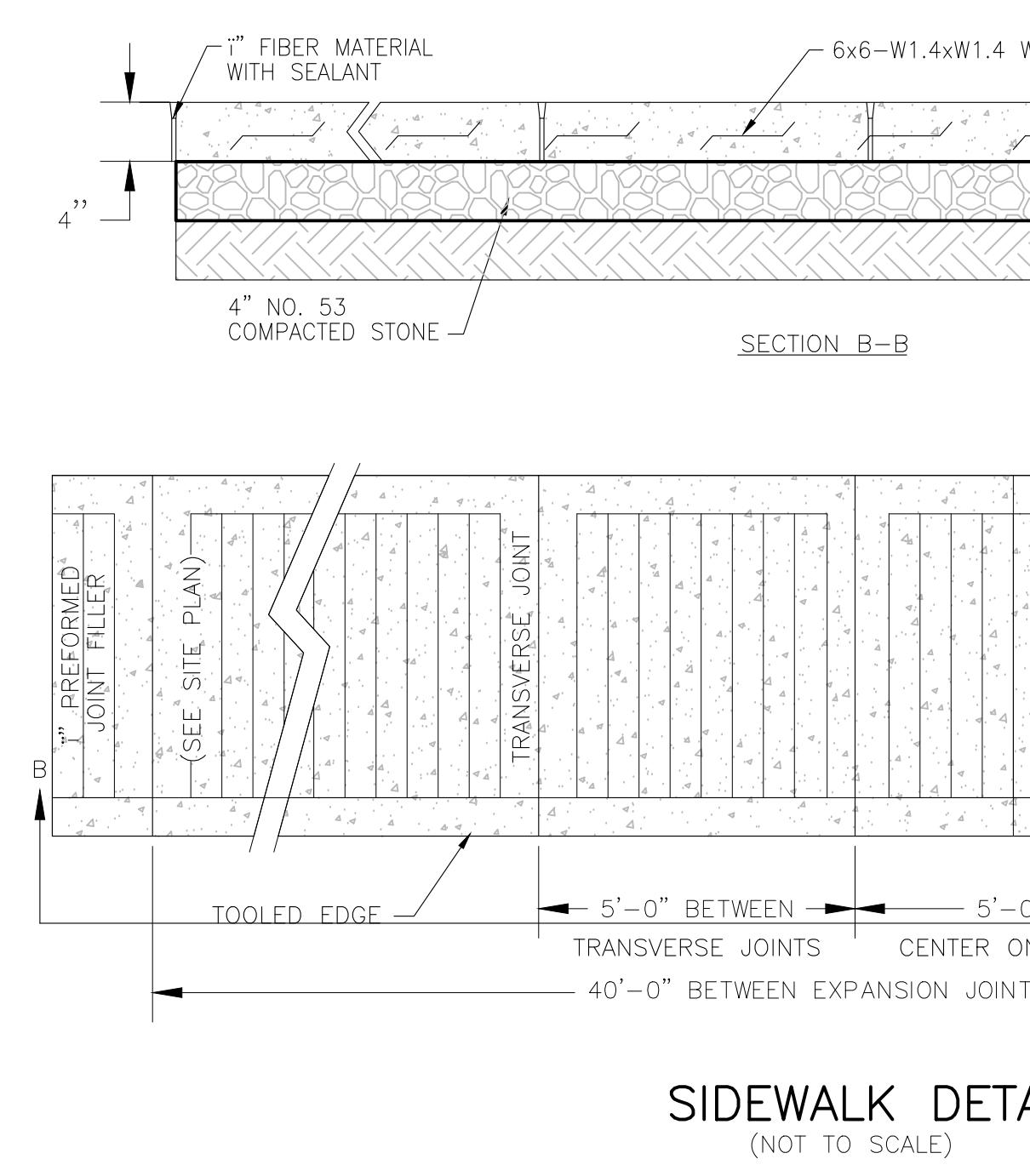
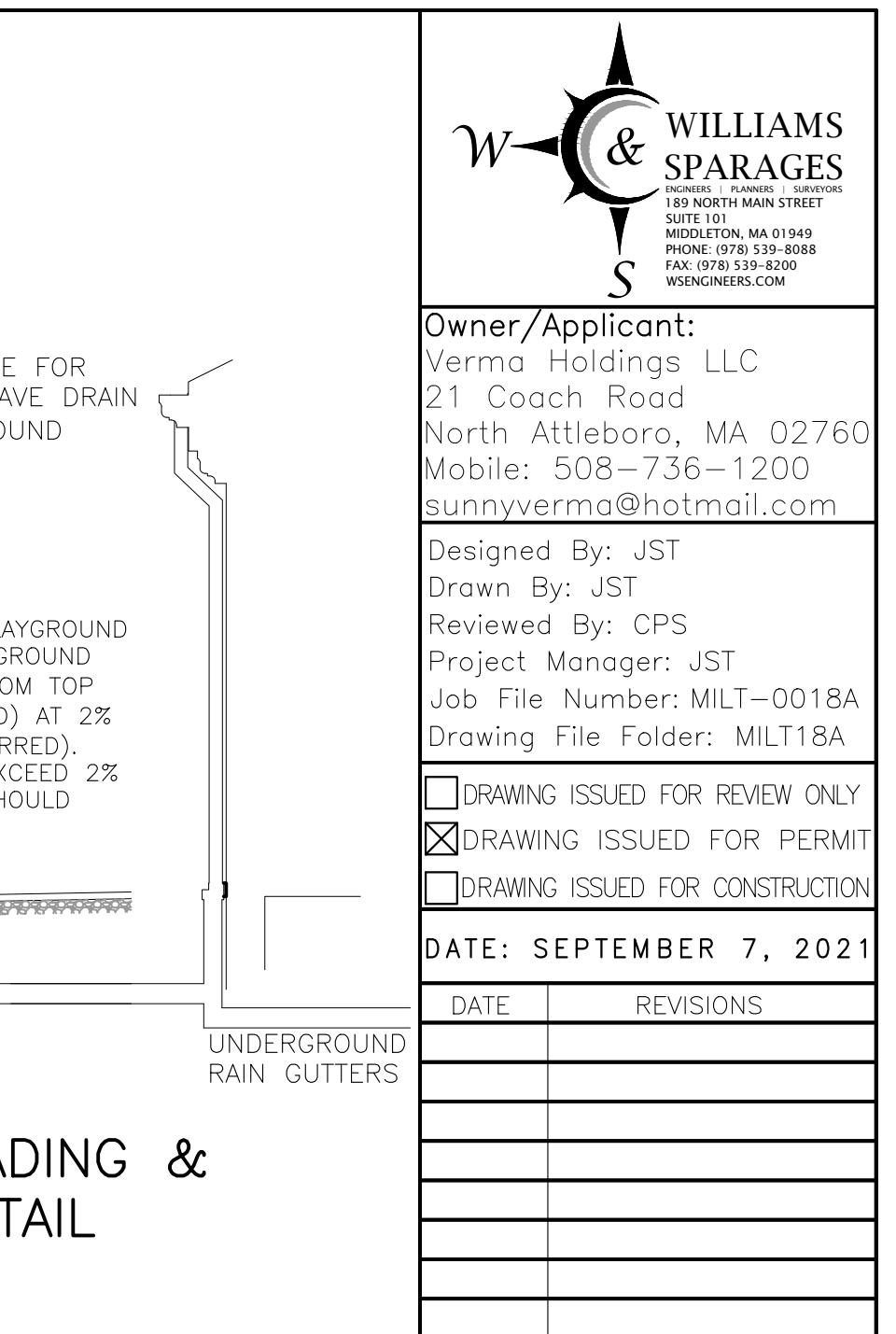
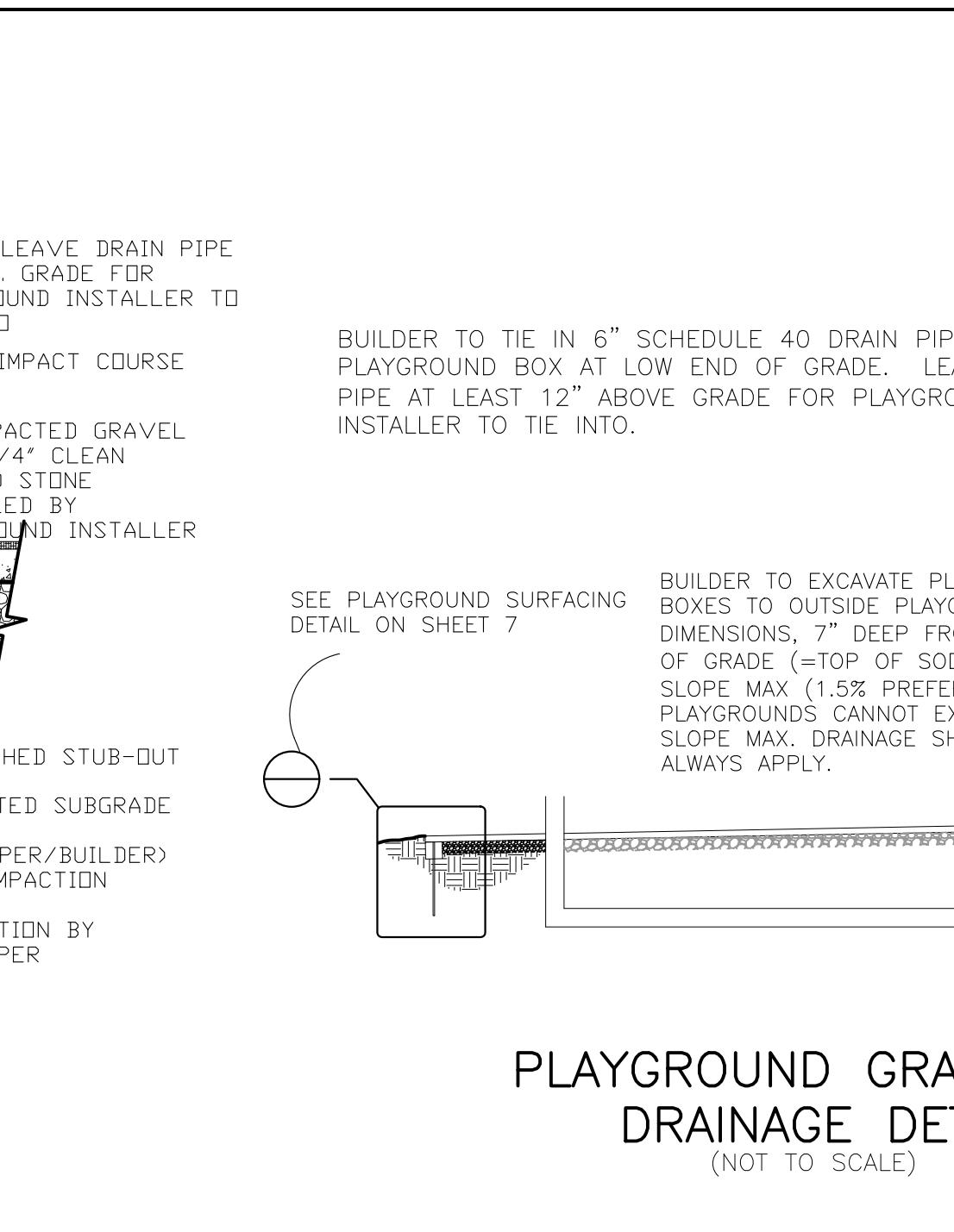
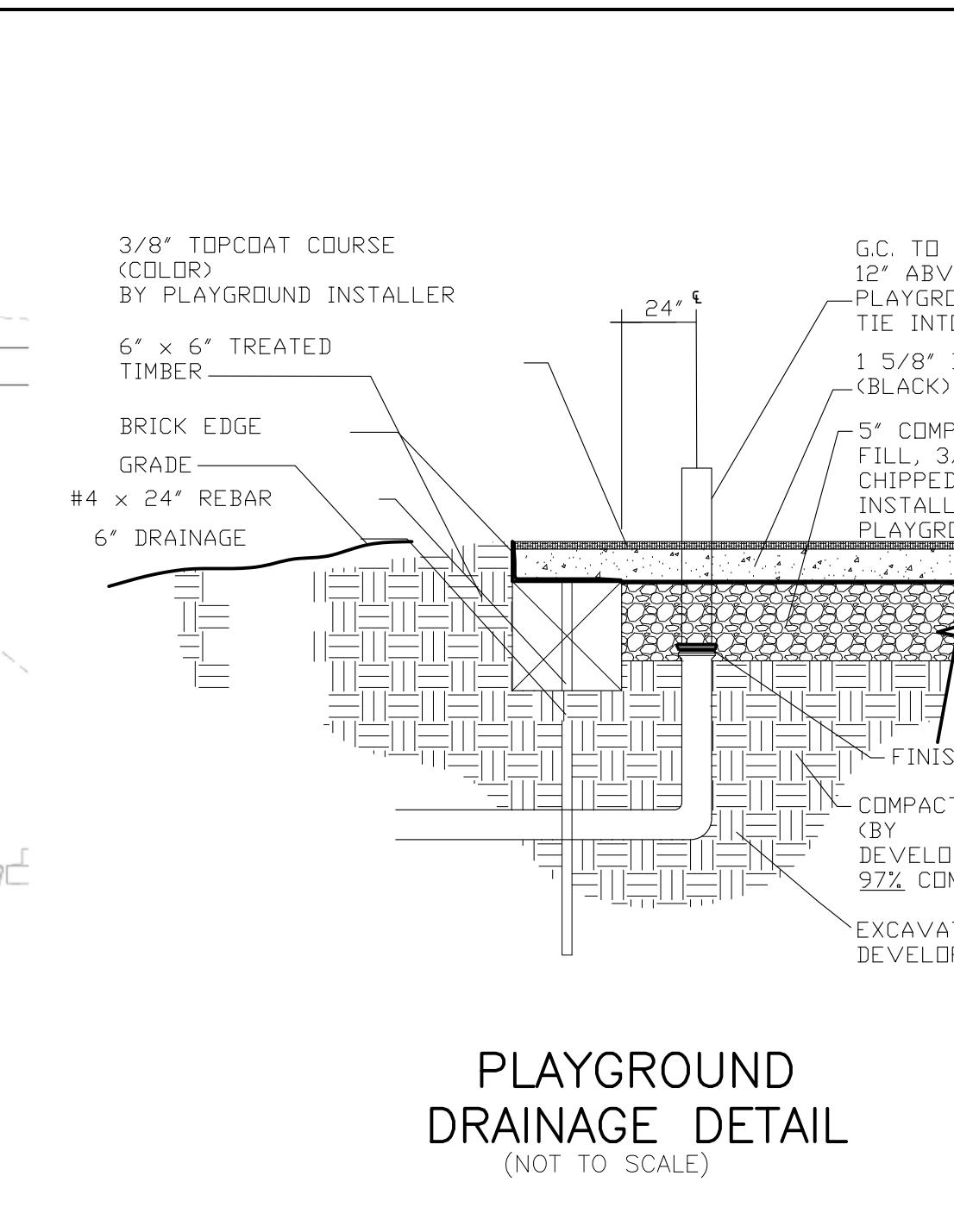
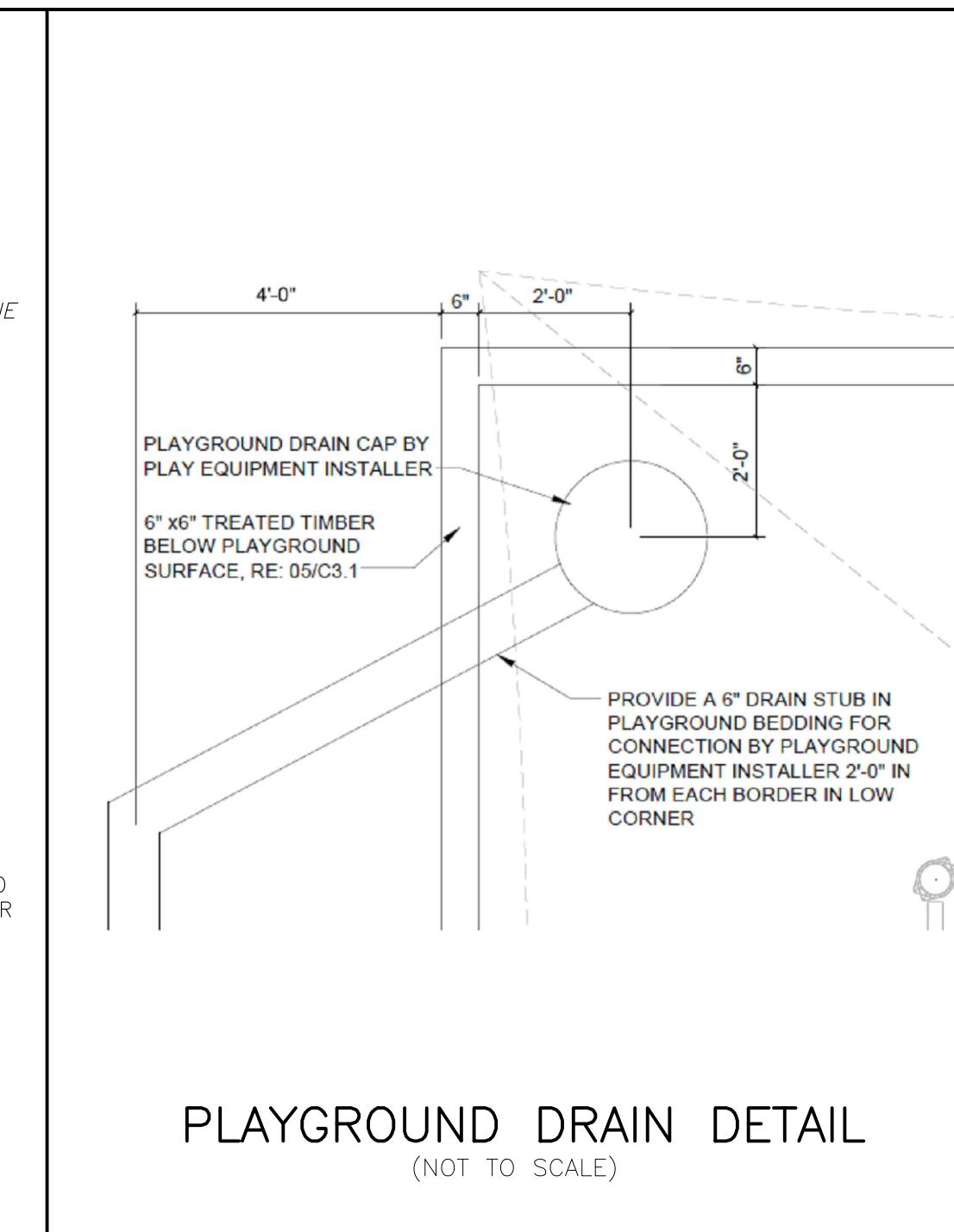
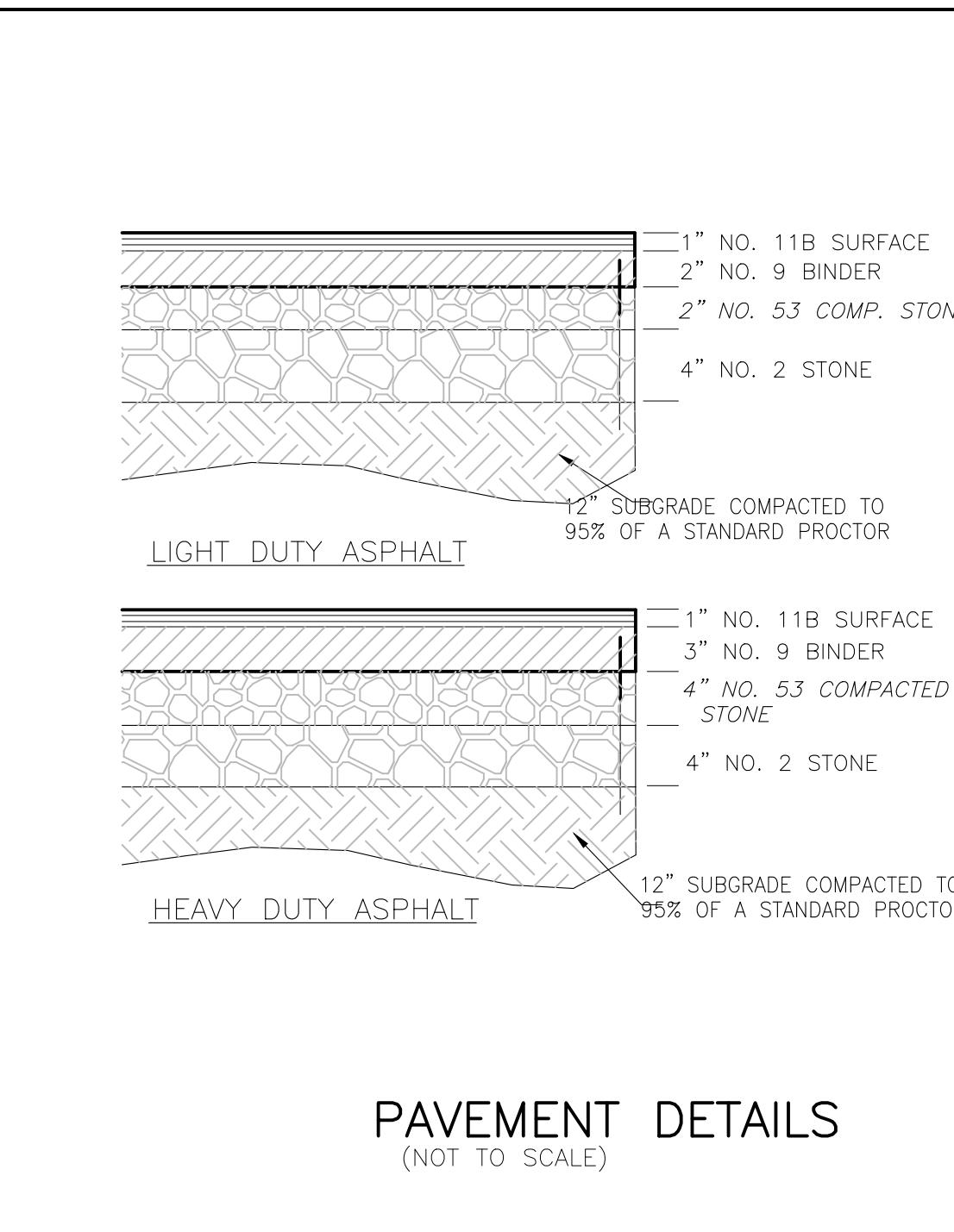
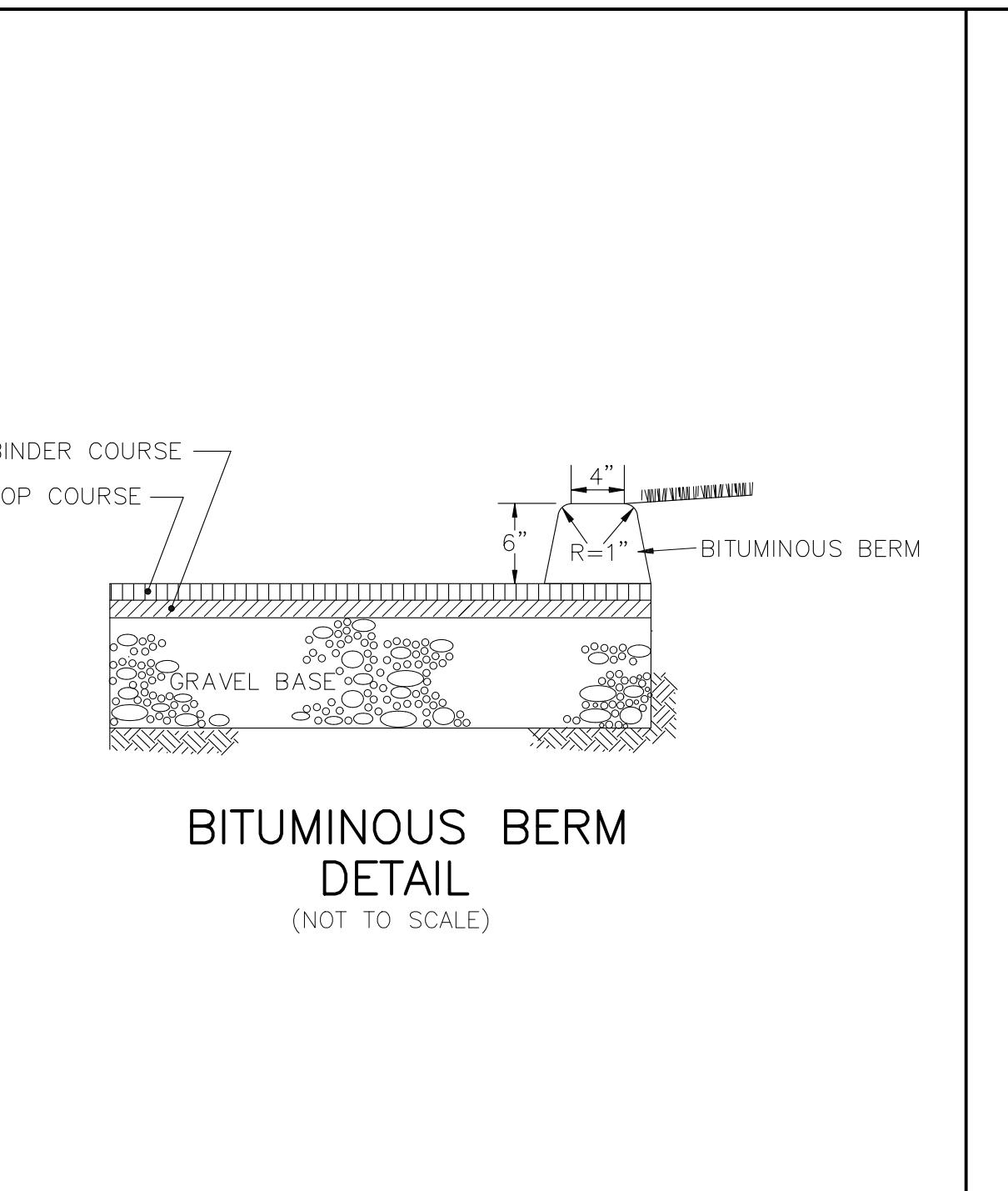
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SITE DETAILS THE GODDARD SCHOOL 193 CENTRAL AVENUE MILTON, MASSACHUSETTS

SITE DETAILS
(12 of 13)

C5.2



LANDSCAPE PLAN

Scientific Name	Common Name
Malus sylvestris	Apple
Caesalpinia gillesii	Bird-of-Paradise Shrub
Robinia pseudoacacia	Black Locust, White Locust
Prunus virginiana	Buckeye
Lingustrum spec.	Buttercups
Narcissus	Choke Cherry
Daphne mezereum	Common Privet, etc...
Astroloba belladonna	Crocos - Autumn
Dieffenbachia	Daffodil, Jonquil
Coleacasia	Daphne
Pholidoptera	Deadly Nightshade
Hedera Helix	Devil's Ivy
Solanum dulcamara	Dumb cane, Elephant ear
Caladium	Elderberry
Digitalis	Elephant Ear
Ilex species	English Ivy
Hyacinthus orientalis	European Bittersweet,
Hydrangea macrophylla	Deadly Nightshade
Iris	Fancy-leaved Caladium
Arisaema triphyllum	Four O'Clock
Solanum pseudocapsicum	Fool's Parsley
Datura stramonium	Holly, etc...
Lantana	Horse-tail Reed
Delphinium	Hyacinth
Convallaria majalis	Hydrangea
Podophyllum peltatum	Iris
Datura meteloides	Ivy - Boston, English, etc...
Ipomoea violacea	Jack-in-the-Pulpit
Neurum clevelandii	Jasmine, Jessamine
Prunus species	Jerusalem Bean
Cornus mas	Jimsonweed, Thorn Apple,
Rhamnus cathartica	Angel's Trumpet
Lantana	Lantana, Bunchberry, Red Sage
Delphinium	Larkspur, Crowfoot
Convallaria majalis	Lily of the Valley
Podophyllum peltatum	Lobelia
Datura meteloides	Marijuana
Ipomoea violacea	Mayapple, Mandrake,
Neurum clevelandii	Ground Lemon
Prunus species	Mistletoe
Cornus mas	Monkshood
Rhamnus cathartica	Moonflower, Angel's Trumpet,
Lathyrus odoratus	Locoweed
Monstera	Mooneed
Parthenocissus quinquefolia	Morning Glory
Cicuta maculata	Oleander
Wisteria species	Peach, Plum, Cherry, Apricot
Gelsemium sempervirens	Persimmon
Taxus	Peyote (mescal)
Rubus hispida	Pholidoptera
Phytolacca americana	Potato Sprouts
Rhododendron	Primrose
Rheum rhabarbarum	Ranunculus
Lathyrus odoratus	Rhododendron, Azalea
Monstera	Rhubarb
Parthenocissus quinquefolia	Star of Bethlehem
Cicuta maculata	Sweet Pea
Wisteria species	Swiss Cheese Plant, Ceriman
Gelsemium sempervirens	Tobacco
Taxus	Tomato Vines
Periploca graeca	Tulip
Virginia Creeper, American Ivy	Virginia Creeper
Water Hemlock	Water Hemlock
Spotted Cowbane	Spotted Cowbane
Wisteria	Yellow Jessamine,
Yellow Jessamine,	Carolina Jessamine
Carolina Jessamine	Yew (Japanese)

TOWN OF MILTON STREET/SHADE TREE INFORMATION

TREES MUST BE SELECTED ONLY FROM THE ATTACHED LIST PREPARED BY THE MILTON SHADE TREE ADVISORY COMMITTEE. TREES UNDER THIS PROGRAM ARE ONLY PLANTED DURING THE MONTHS OF SEPTEMBER, OCTOBER, NOVEMBER, AND DECEMBER SO LONG AS WEATHER PERMITS.

MILTON STAC RECOMMENDED TREE LIST IS BASED ON THE FOLLOWING CRITERIA:

ABILITY TO SURVIVE IN DIFFICULT URBAN CONDITIONS.

NATIVE SPECIES (TO ATTRACT NATIVE BIRDS AND BUTTERFLIES)

ATTRACTIVE

PROVIDES APPROPRIATE LEVEL OF VISIBILITY FOR WALKERS AND DRIVERS

DECIDUOUS TREES (NO EVERGREENS INCLUDED DUE TO VISIBILITY AND OTHER ISSUES)

AVAILABILITY IN MASSACHUSETTS NURSERIES

SOURCES: ARBOR DAY FOUNDATION, THE LADY BIRD JOHNSON WILDFLOWER CENTER, UMASS URBAN FORESTRY PROGRAM, BOSTON PARKS DEPARTMENT, BROOKLYN BOTANICAL GARDENS, DIRR'S HANDBOOK OF WOODY PLANTS, NYC STREET TREE GUIDE, CORNELL UNIVERSITY HORTICULTURE DEPARTMENT, VARIOUS SHADE TREE COMMITTEES FROM ACROSS MASSACHUSETTS

PLANTING LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	NOTES	SYMBOL
TL	2	LIRIODENDRON TULIPIFERA L.	TULIP	2.5-3" CALIPER	
AE	3	ULMUS AMERICANA	AMERICAN ELM (VALLEY FORGE OR PRINCETON ELM)	2.5-3" CALIPER	
RB	9	BETULIA NIGRA	RIVER BIRCH	8'-10' HEIGHT	
GMS	AS SHOWN	SPIRAEA JAPONICA "GOLDMOUND"	GOLDMOUND SPIREA	#5	
CBS	AS SHOWN	PICEA PUNGENS "GLAUCA"	COLORADO BLUE SPRUCE	8'-10' HEIGHT	
CIB	AS SHOWN	BUXUS MICROPHYLLA INSULARIS	GREEN VELVET BOXWOOD	#5	
MG	AS SHOWN	MISCANTHUS GRACILLIMUS	MAIDEN GRASS	-	
LA	AS SHOWN	LAVANDULA ANGUSTIFOLIA	LAVENDER	TBD	
WG	AS SHOWN	BUXUS MICROPHYLLA	WINTERGREEN BOXWOOD SHRUB	#5	

PLANT GOLDEN SPIREA 3' APART. SPIREA TOTAL SHOWN ARE APPROXIMATE LOAM & SEED ALL DISTURBED AREAS. MULCH IN AND AROUND FLOWER & SHRUBS ANNUAL FLOWERS TO BE DETERMINED

LANDSCAPER RESPONSIBILITIES

- ALL LANDSCAPING WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM WHERE APPLICABLE. TREES AND SHRUBS (Drip/Bubbler) SHALL BE IRRIGATED BY A SEPARATE ZONE IN SOD/GRASS (SPRAY). THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE SYSTEM IS TO HAVE A RAIN SENSOR SHUT-OFF REQUIRED.
- SOIL AMENDMENT FOR SODDED AREAS SHALL BE 4 C.Y. OF COMPOSTED ORGANIC MATTER PER 1,000 S.F. THE TOP 5" SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 12".
- IN ALL PLANTER BED AREAS THE BACKFILLED SOIL SHALL BE REMOVED TO A DEPTH OF 24" AND REPLACED WITH A MIXTURE OF 1/2 TOPSOIL WITH AMENDMENT AND 1/2 NATIVE SOIL COMPACTED TO 85% STD. DENSITY.
- IN BED AREAS HOLD TOP OF SUBGRADE 3"-4" BELOW ADJACENT IMPROVEMENTS FOR MULCHING.
- ALL SHRUB BEDS SHALL RECEIVE WATER-PERMEABLE WEED BARRIER FABRIC. FABRIC SHALL BE 3 OZ. SPUNBONDED POLYPROPYLENE WITH UV INHIBITORS TYPAR #3301 OR APPROVED EQUAL. PERENNIAL AND ORNAMENTAL GRASS AREAS SHALL NOT RECEIVE THE FABRIC.
- ALL SHRUB BEDS SHALL BE MULCHED WITH 3"-4" DEPTH SHREDDED CEDAR - NATURAL COLOR. SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO DIGGING, EXCAVATION OR TRENCHING. DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR WITH NO EXPENSE TO THE OWNER.
- PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 AND THE STATE NURSERY ACT AND ACCOMPANYING RULES & STANDARDS. ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.
- ALL TREES IN SODDED AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3"-4" DEPTH AND AT LEAST 3'-4" IN DIAMETER. KEEP MULCH 4"-6" AWAY FROM TRUNKS.
- PLANT SPECIES AND LOCATIONS SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, CONTACT THE LANDSCAPE ARCHITECT AND GSI REPRESENTATIVE FOR CLARIFICATION.
- ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 3 YEARS AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.
- IRRIGATED TURF SHALL BE APPROVED REGIONAL GRASS BLEND, WITH 3 VARIETY BLEND MIN. (G.C. CONFIRM WITH LOCAL CODE FOR REQUIREMENTS).
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PERTINENT SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY OWNER OF ANY CONFLICTS OR DISCREPANCIES WITH INFORMATION STATED IN THESE PLANS. DO NOT PROCEED WITH CONSTRUCTION IF DISCREPANCIES EXIST WITHOUT OWNER APPROVAL.
- REFER TO GRADING DRAWINGS FOR TOPO/ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. PREFERRED) IN ALL LANDSCAPE/TURF AREAS. SURFACES SHALL DRAIN AWAY FROM BUILDING FOUNDATIONS (5% MIN.) AND TO THE STREETS AND ALLEY. NOTIFY OWNER IF ROUGH GRADING CONDITIONS WILL CREATE PONDING ON SITE OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY THE OWNER PRIOR TO SOIL PREPARATION OPERATIONS.
- PROPOSED TREES IN THE R.O.W. SHALL BE PRE-APPROVED BY THE TOWN ARBOR AND SHALL BE A MINIMUM OF 20' FROM PROPERTY CORNERS AT INTERSECTIONS, 25' FROM STREET LIGHTS AND 10' FROM EDGE OF DRIVEWAYS, OR PER LOCAL CODE REQUIREMENTS.
- THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL FIELD INSTALLATIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD DELIVERIES TO GSI'S REPRESENTATIVE IMMEDIATELY. THE G.C. IS TO CONFIRM ALL QUANTITIES AFTER INSTALLATION. THAT ALL PLANTS AND MATERIALS ARE INSTALLED PER SPECIFICATIONS AND LANDSCAPE PLANS.
- LANDSCAPE ARCHITECT IS TO COORDINATE/PRODUCE AND SUBMIT IRRIGATION SPRINKLER DRAWINGS FOR REVIEW AND APPROVAL ONCE LANDSCAPE PLAN HAS BEEN REVIEWED AND APPROVED BY ARCHITECT AND GSI REPRESENTATIVE.

NOTES:
1. SET ALL EDDING 1" ABOVE FINISH GRADE AS SHOWN.
2. EDDING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
3. ALL JOINTS TO BE SECURELY STAKED.

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DATE: SEPTEMBER 7, 2021

DATE | REVISIONS

CONIFEROUS TREE PLANTING
(NOT TO SCALE)

DECIDUOUS TREE PLANTING
(NOT TO SCALE)

LANDSCAPE PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

LANDSCAPE PLAN
(13 of 13)

L1.0

PMLT-0018A 193 Central Ave Drawing-SITE-BUILDING - 193CentralAveDrawing-SITE-BUILDING - Revision 1, Date 09/07/2021