

ZONING DISTRICT: RESIDENCE B			
		REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA		20,000 s.f.	63,780 s.f.
MINIMUM LOT FRONTAGE		100 ft.	197.76 ft.
MINIMUM FRONT SETBACK		25 ft.	90.3 ft.
MINIMUM SIDE SETBACK		35 ft.	41.5 ft.
MINIMUM REAR SETBACK		40 ft.	61.0 ft.
ACCESSORY STRUCTURE SETBACK		10 ft.	15.8 ft. (RET. WALL)
MAXIMUM BUILDING HEIGHT		35 ft.	33.25 ft.
MAXIMUM BUILDING HEIGHT (STORIES)		2.5	2.5
MAXIMUM GROSS FLOOR AREA		40%	34.2% (21,785 s.f.)
OPEN SPACE		50%	58.7%
FRONT SETBACK IMPERVIOUS AREA		40% (4,880 s.f.)	15% (1,800 s.f.)
CORNER LOT PARKING IN SETBACK		30%	12%

PARKING REQUIREMENTS			
THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS			
CATEGORY	REQUIRED	PROVIDED	
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES	2 SPACES FOR EVERY THREE CLASSROOMS 14 ROOMS/3 x 2 = 9.3	30 SPACES (3 COMPACT SPACE © 16'x8' MIN. – 7 ALLOWED)	
HANDICAP	2 SPACES	2 SPACES	

SECTION VII. PARKING REGULATIONS.

G. IN RESIDENCE AA, A, B OR C DISTRICT, ANY PARKING AREA FOR MORE THAN 5 AUTOMOBILES SHALL BE SET BACK FROM ANY STREET OR FRONT LOT LINE AT LEAST THE SAME DISTANCE AS A BUILDING IN SUCH DISTRICT MUST BE SET BACK FROM SUCH A STREET PURSUANT TO THE PROVISIONS IN PARAGRAPHS 1, 2 OR 3 OF SECTION VI.

CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES	2 SPACES FOR EVERY THREE CLASSROOMS 14 ROOMS/ $3 \times 2 = 9.3$	30 SPACES (3 COMPACT SPACE © 16'x8' MIN. = 7 ALLOWED)
HANDICAP	2 SPACES	2 SPACES

EXIST. 6' STOCKADE FENCE
(ON ABUTTING PROPERTY) -

**BOLLARDS ARE TO BE SHALL MEET
GODDARD SCHOOL CRASH TESTED
REQUIREMENTS. BOLLARDS ARE TO BE
4.5' O.C.. ADDITIONAL BOLLARDS MAY
BE REQUIRED UPON GODDARD
SCHOOL REVIEW

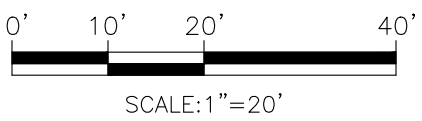
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS APPLICABLE.
2. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OR OUTSIDE FACE OF BRICK, BLOCK OR BUILDING FASCIA UNLESS OTHERWISE INDICATED.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
4. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
5. WHERE APPLICABLE ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ADJUTS THOSE AREAS.
6. CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED.
7. CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
8. CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PLAYGROUND BOXES. PAVEMENT EDGES WITH GRANULAR BACKFILL.
10. CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC DISABLED PARKING SIZES, STRIPPING AND SIGNAGE REQUIREMENTS.
11. PRIMARY COLORED PLAYGROUND EQUIPMENT WILL BE INSTALLED UNLESS THE LOCAL JURISDICTION, HOA OR COVENANTS AND RESTRICTIONS REQUIRE EARTH TONE.
12. GATES TO BE HARD WOOD, CONNECTED TO SEPARATE ALARM SYSTEM. CHIME BACK AT OFFICE WHEN OPENED. PUSH BARS TO HAVE MINIMUM 12" DEPTH 16 GAUGE EXPANDED METAL BACKING ALONG WIDTH OF GATE WITH LOCKABLE HANDLES ON EXTERIOR.
13. G.C. SHALL INSTALL GSI'S STANDARD "COMING SOON" TEMPORARY SIGN PER AHJ STANDARDS. RE:02/C5.2. ALL SIGNS TO BE APPROVED SEPARATELY.
14. G.C. TO PROVIDE QTY. 3 MIN. SELF CLOSING HINGE SETS TO ALL EXTERIOR GATES, DUE TO 4FT WIDTH AND TO PREVENT POSSIBLE SAGGING .
15. G.C. TO INSTALL & LOCATE CLEAN OOTS PER PLUMBING PLANS AND SPECIFICATIONS.
17. ALL BOLLARDS ARE TO BE 48" GAP BETWEEN EACH BOLLARD OR 54" ON CENTER – REFER TO SHEET C5.2.
18. BUILDING SIGNS TO BE APPROVED BY ZONING OFFICER PRIOR TO BEING ERRECTED.
19. TRAFFIC GUARD BOLLARDS ARE TO BE USED, NO SUBSTITUTIONS UNLESS APPROVED BY GODDARD SCHOOL. SEE SPEC. 32 39 13 MANUFACTURED BOLLARDS (SEE DETAIL).
20. PROPOSED FENCE(S) TO BE APPROVED BY ENGINEER & GODDARD SCHOOL PRIOR TO INSTALLATION.
21. VERIFY UNDERGROUND UTILITIES PRIOR TO INSTALLING BOLLARDS & PLAYGROUND EQUIPMENT.
22. PARCEL 1 NOT TO BE CONSIDERED A SEPARATE BUILDING LOT, BUT TO BE HELD IN COMMON OWNERSHIP WITH ADJOINING LAND.
23. BOLLARDS TO BE 4.5' ON CENTER.
24. VERIFY DUMPSTERS SIZES & NUMBERS WITH OWNER PRIOR TO CONSTRUCTION.
25. CONCRETE CURB TO BE USED AT SIDEWALK. BIT. CURB TO BE USED ELSEWHERE.
26. GODDARD SIGNS TO BE APPROVED SEPARATELY.
27. COMPACT SPACES TO HAVE DESIGNATED SIGNS.
28. COMPACT SPACES & CHARGING STATIONS TO HAVE APPROPRIATE SIGNS.

EXISTING CONTOUR
EXISTING SPOT ELEVATION
EXIST. BITUMINOUS BERM
EXIST. FENCE
APPROXIMATE WATER
APPROXIMATE SEWER
APPROX. SEWER SERVICE
APPROX. STORM DRAIN
APPROXIMATE GAS
APPROXIMATE ELECTRIC
OVERHEAD WIRES
EXIST./PROP SEWER MANHOLE
EXIST./PROP. DRAIN MANHOLE
EXIST. CATCH BASIN
EXIST. HYDRANT
EXIST. WATER GATE
EXIST. GAS GATE
BENCH MARK
LIGHT
TRAFFIC FLOW
SIGN
WALL
UTILITY POLE
PROP. CONTOUR
PROP. SPOT GRADE
DRAINAGE FLOW DIRECTION
DRAIN CLEANOUT
YARD DRAIN
PROPOSED BOLLARD
CHARGING STATION
COMPACT SPACE (8'x16')
BENCH (TBD BY OWNER)
PROPOSED DRAIN



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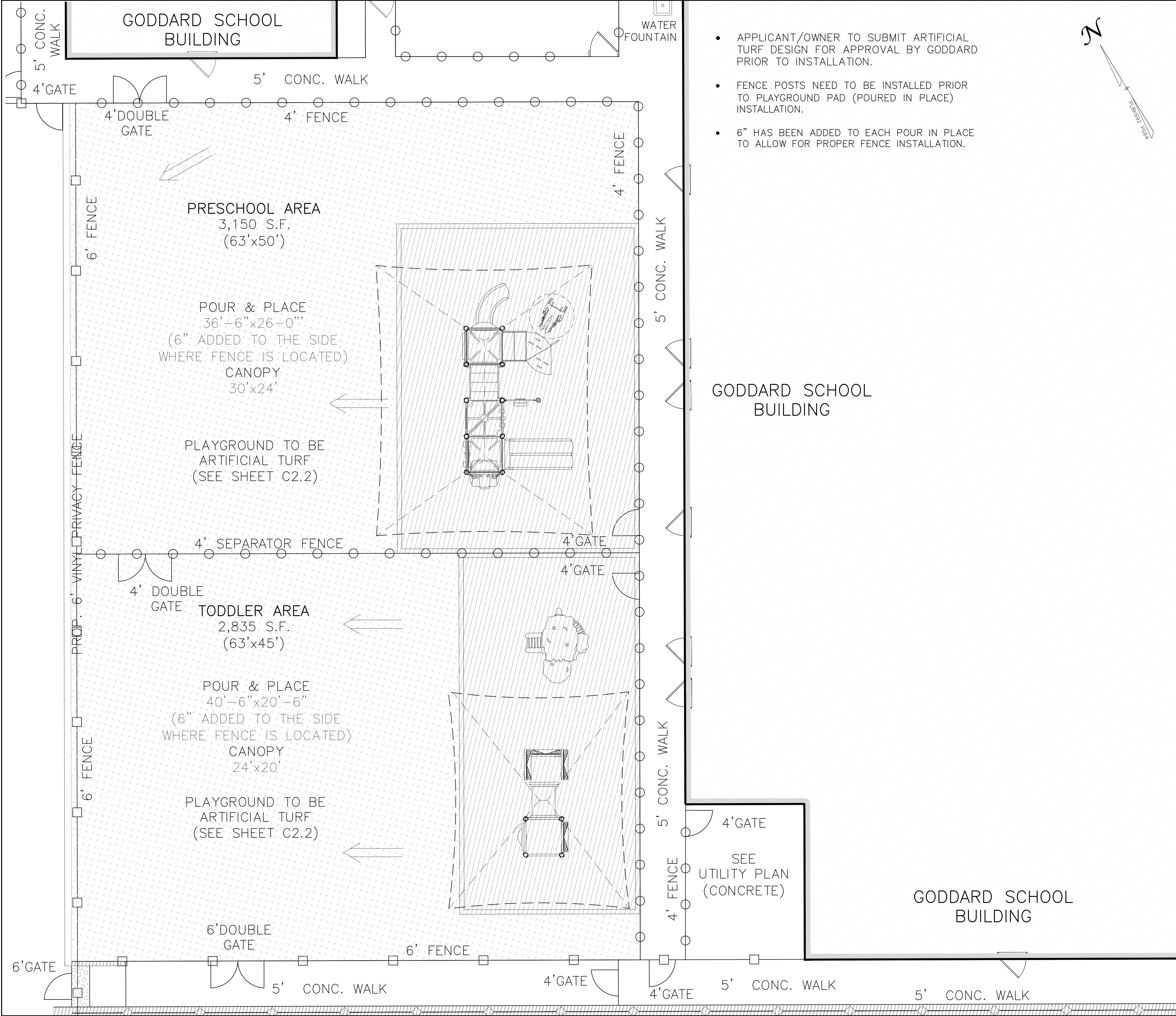
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SITE PLAN

(3 of 13)

C1.1



- APPLICANT/OWNER TO SUBMIT ARTIFICIAL TURF DESIGN FOR APPROVAL BY GODDARD PRIOR TO INSTALLATION.
- FENCE POSTS NEED TO BE INSTALLED PRIOR TO PLAYGROUND PAD (POURED IN PLACE) INSTALLATION.
- 6" HAS BEEN ADDED TO EACH POUR IN PLACE TO ALLOW FOR PROPER FENCE INSTALLATION.

PLAYGROUND RESPONSIBILITIES DEVELOPER / GENERAL CONTRACTORS

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS IF REQUIRED. APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES.
3. ELECTRIC AND WATER ARE NEEDED ON SITE, FOR THE PLAYGROUND INSTALLERS USE. IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPACTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SUITABLE SOIL.
5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. A ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL. 2/C3.1)
7. SUB-GRADE BACKFILL MUST BE COMPACTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
8. INSTALL DRAINAGE SYSTEM TO EXCAVATED PLAYGROUND BOXES PER SITE PLAN. (DTL. 13/C3.1)
9. ENSURE ADEQUATE AREA FOR PLAYGROUND INSTALLERS. STAGING AREA NEEDED TO UNLOAD AND PRE-ASSEMBLE APPROX. 1,000 CUBIC FOOT SHIPMENT OF PLAYGROUND EQUIPMENT. HOLDING AREA NEEDED TO RECEIVE DELIVERY OF APPROXIMATELY 40-50 TONS OF CRUSHED STONE. PARKING AREA NEEDED FOR TWO TRUCKS AND ONE 30' TRAILER OF EXCAVATING EQUIPMENT.
10. IF FENCING IS INSTALLED, LEAVE OUT NECESSARY SECTIONS TO PROVIDE ACCESS TO PLAYGROUND AREA.
11. ONCE COMPACTED CRUSH STONE BASE, BORDER, AND EQUIPMENT ARE IN PLACE, THEY SHOULD NOT BE DRIVEN OR WALKED ON AND SHOULD NOT BE USED FOR STORAGE AREA.
12. PLAYGROUND INSTALLATION DESCRIBED ABOVE SHOULD TAKE APPROXIMATELY ONE TO FIVE DAYS, DEPENDING ON SITE CONDITIONS, WEATHER, INSTALLER CREW SIZE, ETC.
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16. THIS IS USUALLY A TWO-DAY INSTALLATION, DEPENDING MAINLY ON WEATHER CONDITIONS. IMPACT COURSE APPLIED ON DAY ONE, AND TOPCOAT (COLOR) APPLIED ON DAY TWO.
17. ONCE THE TOPCOAT APPLICATION IS COMPLETE, THE BINDING AGENTS WILL TAKE A MINIMUM 24 HOURS TO CURE. DURING THAT TIME THERE IS TO BE ABSOLUTELY NO WALKING ON, PLACING OBJECTS ON, OR ALLOWING ANY DUST TO ACCUMULATE ON THE TOPCOAT SURFACE.
18. FINISH GRADING AND LANDSCAPING MUST BE THE SAME ELEVATION AT THE PLAYGROUND BORDERS.
19. ENSURE THAT THE SITE IS SECURE AND THAT OTHER CONTRACTORS WILL NOT BE STORING, WORKING, WALKING, ETC. ON FINISHED PLAYGROUNDS, SURFACES OR BORDERS.

GENERAL NOTES:
DEVELOPER/GENERAL CONTRACTOR SHOULD BE IN CONSTANT COMMUNICATION WITH GSI TO SCHEDULE DELIVERY AND INSTALLATION OF THE PLAYGROUND STRUCTURES. PLAYGROUND INSTALLERS TRAVEL LONG DISTANCES AND IT IS IMPERATIVE THE SITE IS PROPERLY PREPARED AS SPECIFIED TO AVOID COSTLY MOBILIZATION, SHIPPING AND STORAGE FEES.

GSI'S PLAYGROUND INSTALLERS TRAVEL GREAT DISTANCES, INCURRING EXPENSES FOR BOTH TRANSPORTATION AND LODGING. IN ADDITION THEY ARE REQUIRED TO RESERVE RENTAL MACHINERY IF THEY ARE TURNED AWAY BECAUSE THE SITE IS NOT READY, A TRAVEL CHARGE WILL APPLY. THIS CHARGE COULD BE SIGNIFICANT (\$50.00 PER MAN-HOUR FOR A CREW OF FIVE, LODGING AT \$175 PER ROOM PER NIGHT, AND EQUIPMENT RENTAL DEPOSITS). THEREFORE, FOLLOWING ALL OF THE ABOVE GUIDELINES, ESPECIALLY WITH RESPECT TO DISCLOSING EXCESSIVELY ROCKY CONDITIONS, PROHIBITING THE USE OF LARGE ROCKS, CEMENT, ETC. IN BACKFILL MATERIALS, AND PROVIDING THE PROJECT MANAGER AN ACCURATE TIMELINE, WILL SAVE BOTH MONEY AND TIME.

FENCE LEGEND

- 6' VINYL PERIMETER FENCE (6'PF)
- 4' VINYL SEPARATOR FENCE (4'SF)
- 4' VINYL SECURITY GATE (4'G)
- 6' VINYL SECURITY GATE (6'G)
- 4' & 6' DOUBLE GATE (4'DG, 6'DG)
- 4' SAFETY FENCE - TBD BY OWNER
(FENCE TO BE DECORATE SAFETY FENCE AND APPROVED BY MILTON PB)



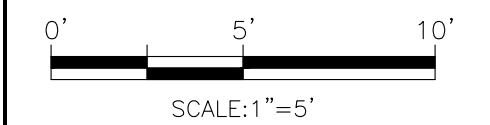
Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

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SCALE: 1"=5'

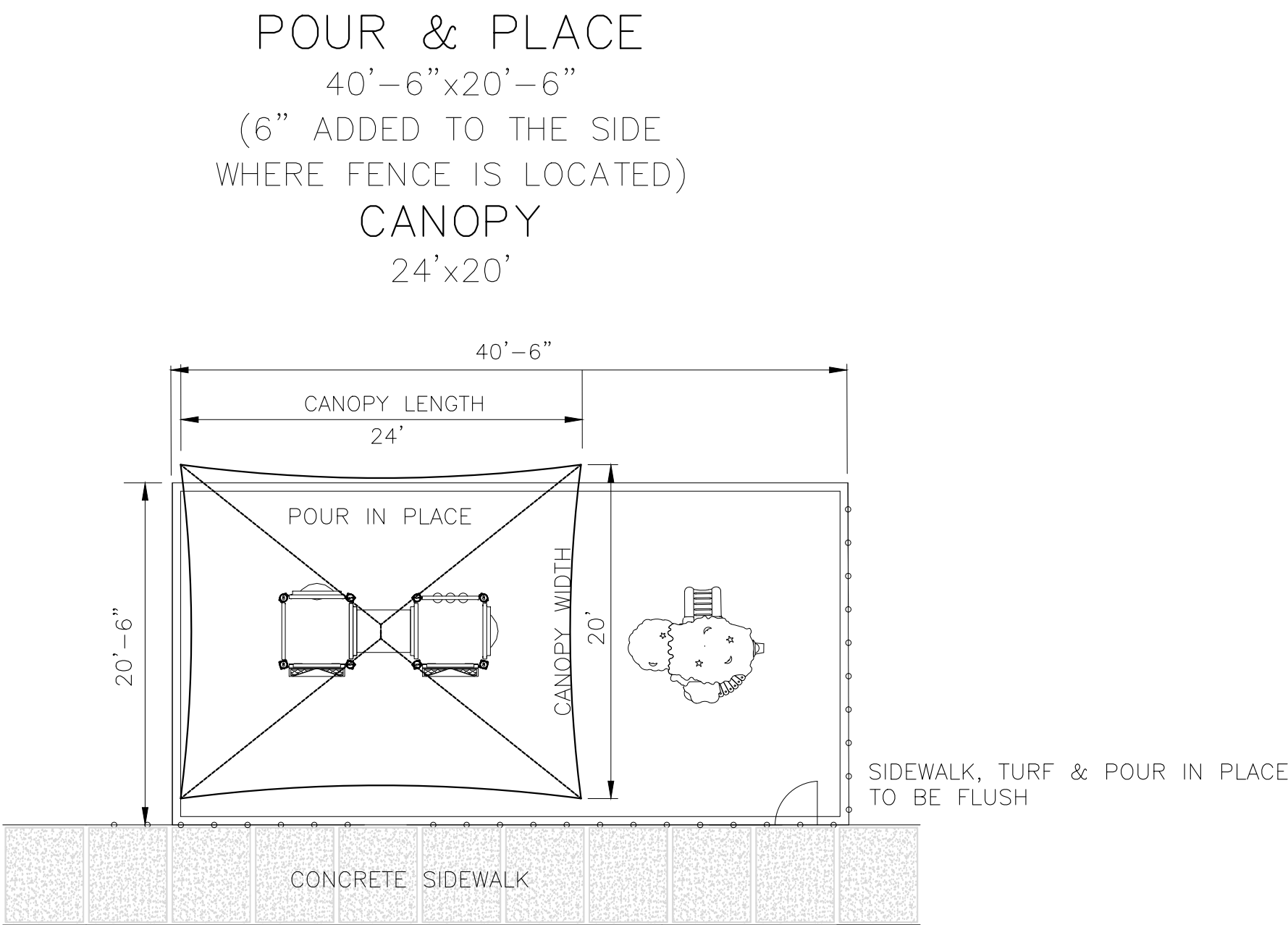
SEAL



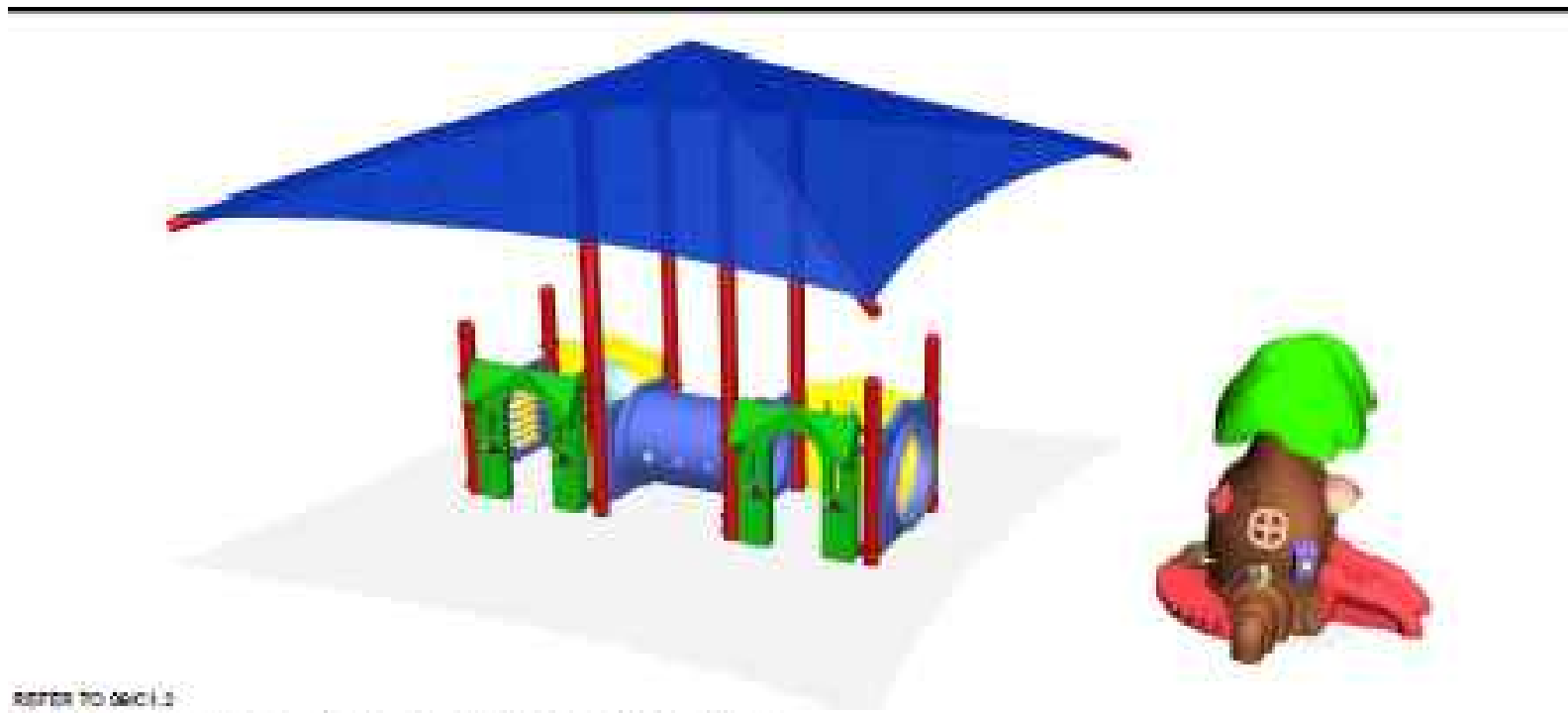
PLAYGROUND DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

**PLAYGROUND
DETAILS
(4 of 13)**

C1.2



INFANT/TODDLER PLAY STRUCTURE
NOT TO SCALE

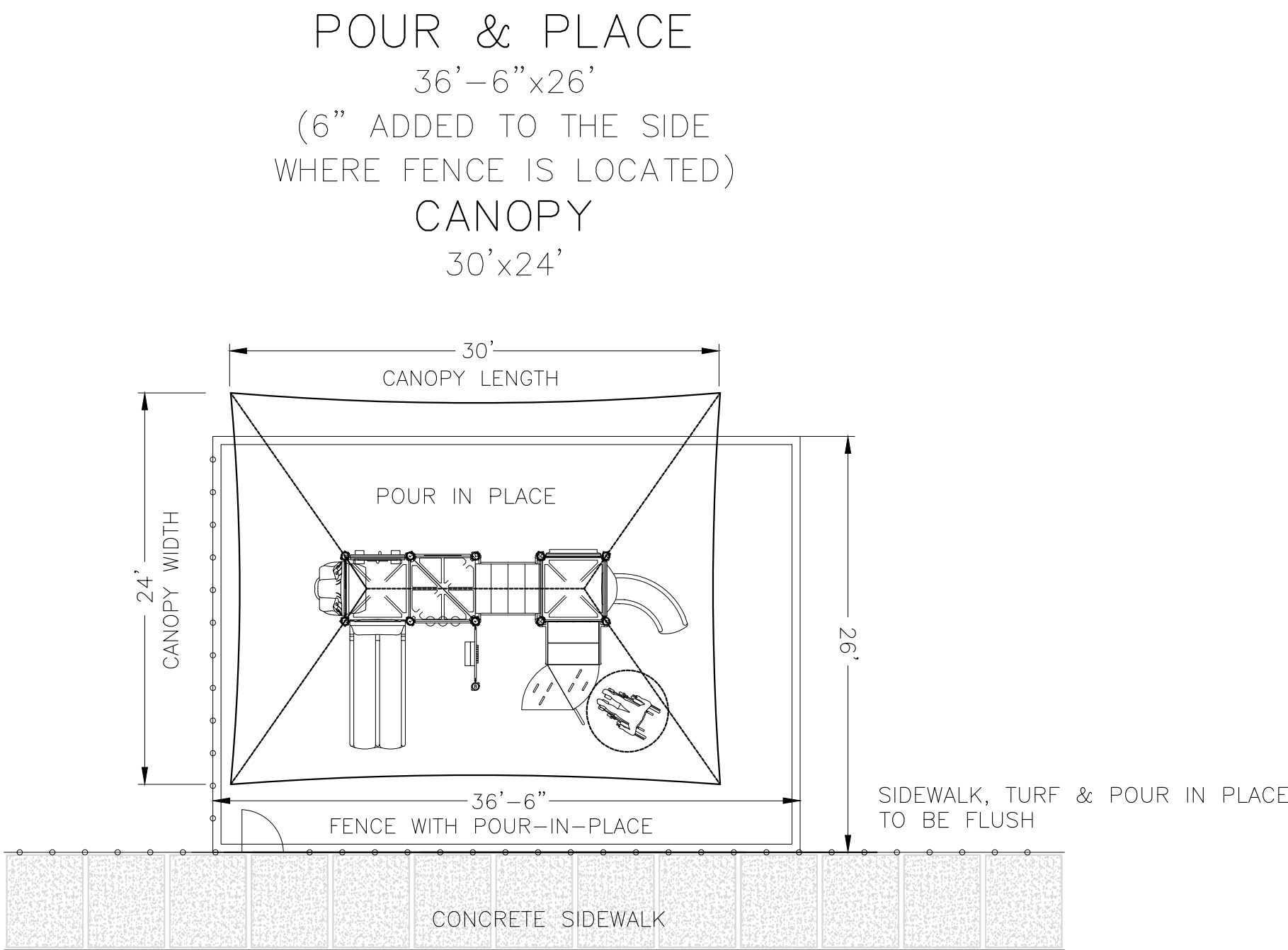


11 TODDLER PLAYGROUND RENDERING

TODDLER PLAYGROUND RENDERING
NTS

FENCE POSTS NEED TO BE INSTALLED PRIOR TO PLAYGROUND PAD INSTALLATION

WHEN FENCING IS WITHIN THE POUR-IN-PLACE DIMENSIONS THE PLAYBOX SHALL INCREASE BY 6" ON FENCE SIDE TO ALLOW FOR FENCE LOCATION PER GODDARD REVIEW.



PRESCHOOL PLAY STRUCTURE
NOT TO SCALE



12 PRESCHOOL PLAYGROUND RENDERING

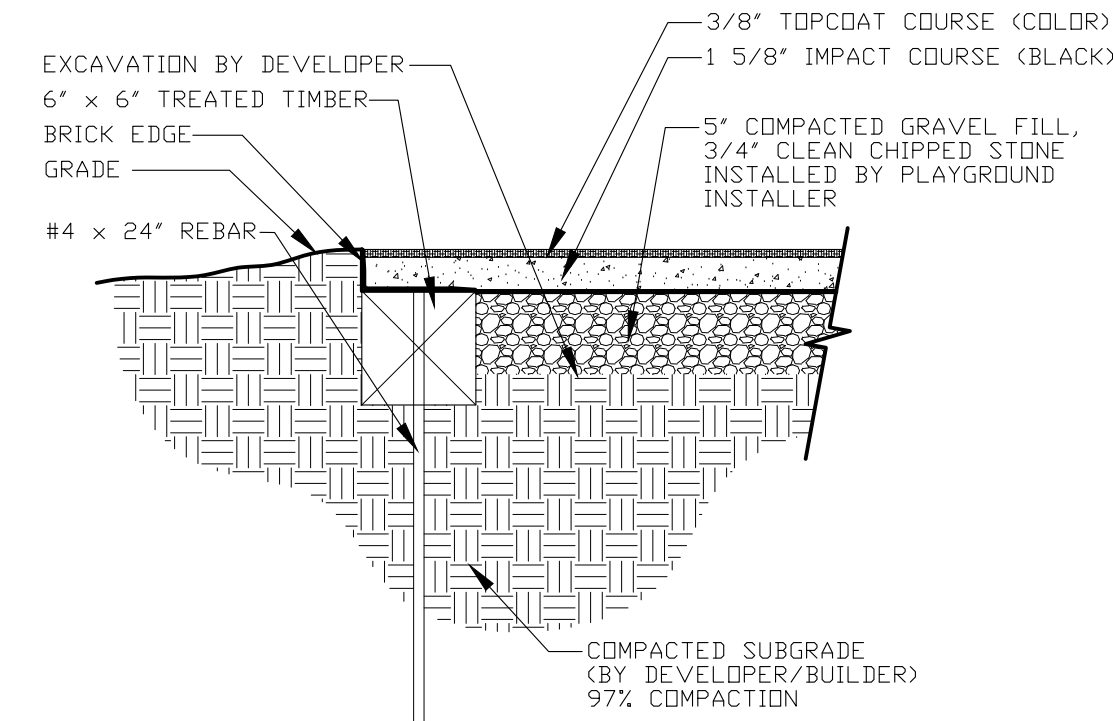
PRESCHOOL PLAYGROUND RENDERING
NTS

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POUR-IN-PLACE PLAY SURFACING
NTS



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

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NOT TO SCALE

SEAL



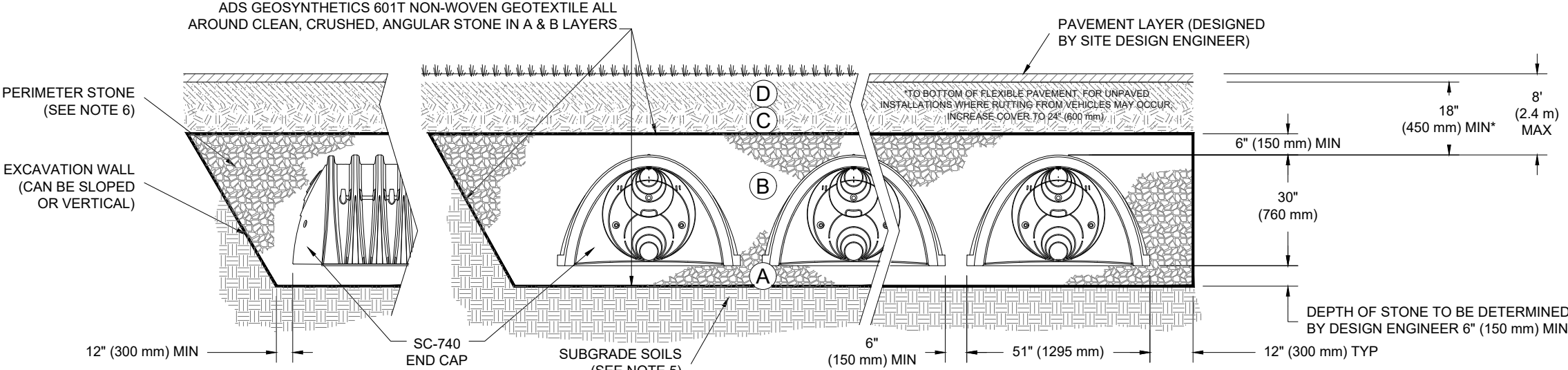
PLAYGROUND DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

PLAYGROUND
DETAILS
(5 of 13)

C1.3

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS			
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹

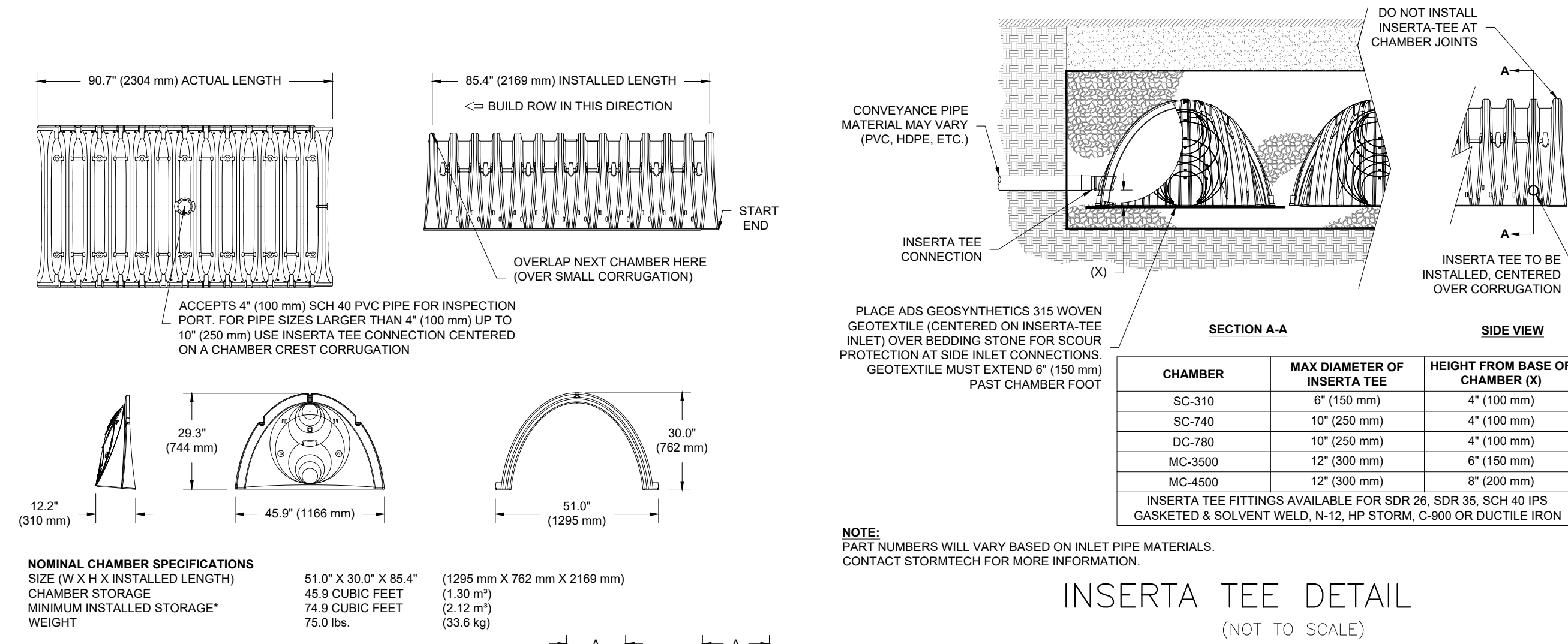
PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2022 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL PRACTICE FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CROSS SECTION
(NOT TO SCALE)



PART #	STUB	A	B	C
SC740EPE061 / SC740EPE081PC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE081 / SC740EPE08BPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EPE081 / SC740EPE081PC	8" (200 mm)	12.2" (310 mm)	14.5" (368 mm)	0.6" (15 mm)
SC740EPE081 / SC740EPE08BPC	10" (250 mm)	13.4" (340 mm)	12.5" (318 mm)	0.7" (18 mm)
SC740EPE101 / SC740EPE101PC	12" (300 mm)	14.7" (373 mm)	9.0" (229 mm)	---
SC740EPE101 / SC740EPE10BPC	12" (300 mm)	14.7" (373 mm)	5.0" (127 mm)	1.3" (33 mm)
SC740EPE101 / SC740EPE121PC	12" (300 mm)	14.7" (373 mm)	---	1.6" (41 mm)
SC740EPE121 / SC740EPE12BPC	15" (375 mm)	18.4" (467 mm)	---	0.1" (3 mm)
SC740EPE151 / SC740EPE151PC	18" (450 mm)	19.7" (500 mm)	---	---
SC740EPE151 / SC740EPE15BPC	24" (600 mm)	18.5" (470 mm)	---	---

PART #	STUB	A	B	C
SC740EPE061 / SC740EPE081PC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE081 / SC740EPE08BPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EPE081 / SC740EPE081PC	8" (200 mm)	12.2" (310 mm)	14.5" (368 mm)	0.6" (15 mm)
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SC740EPE151 / SC740EPE151PC	18" (450 mm)	19.7" (500 mm)	---	---
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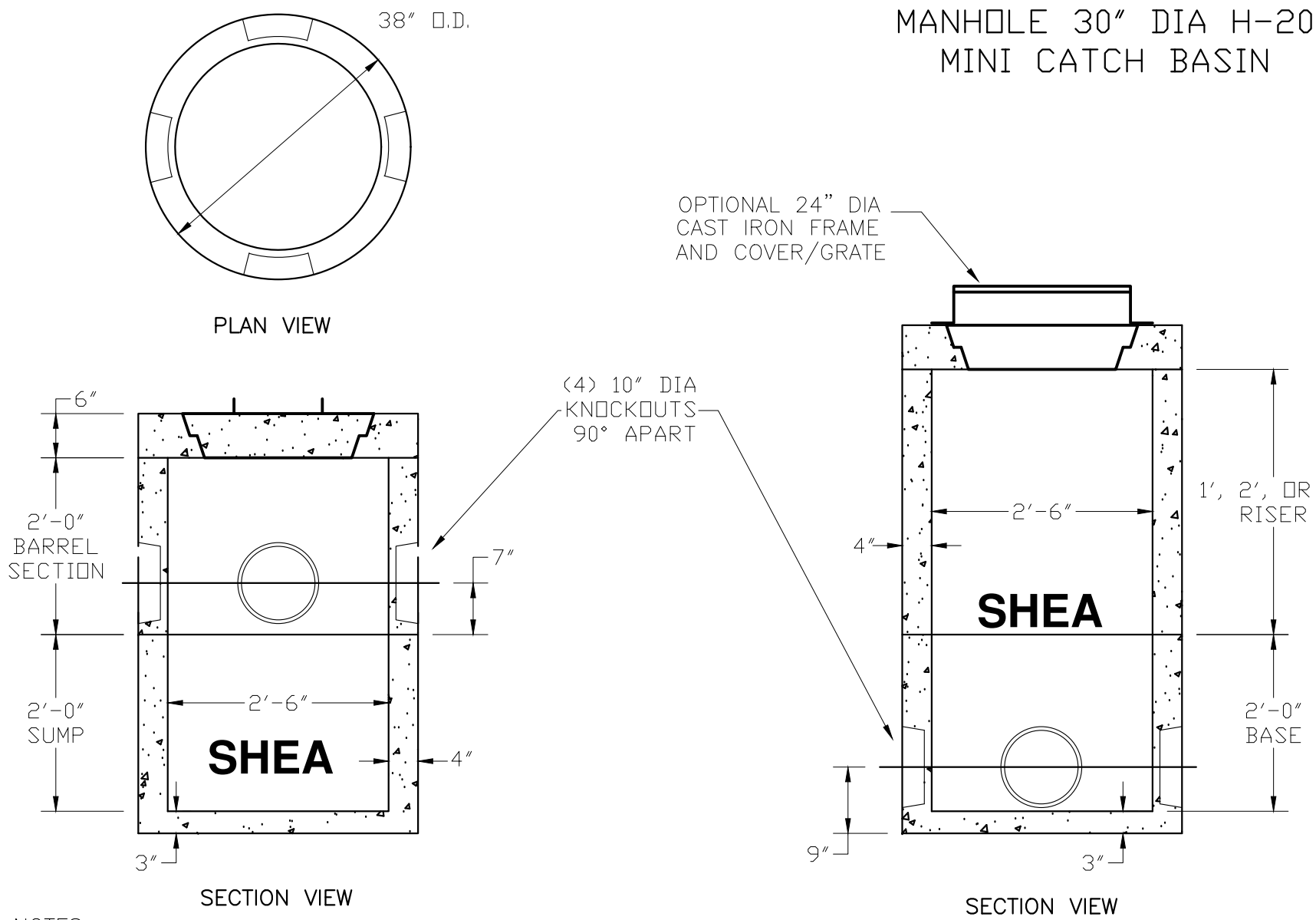
ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2894.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

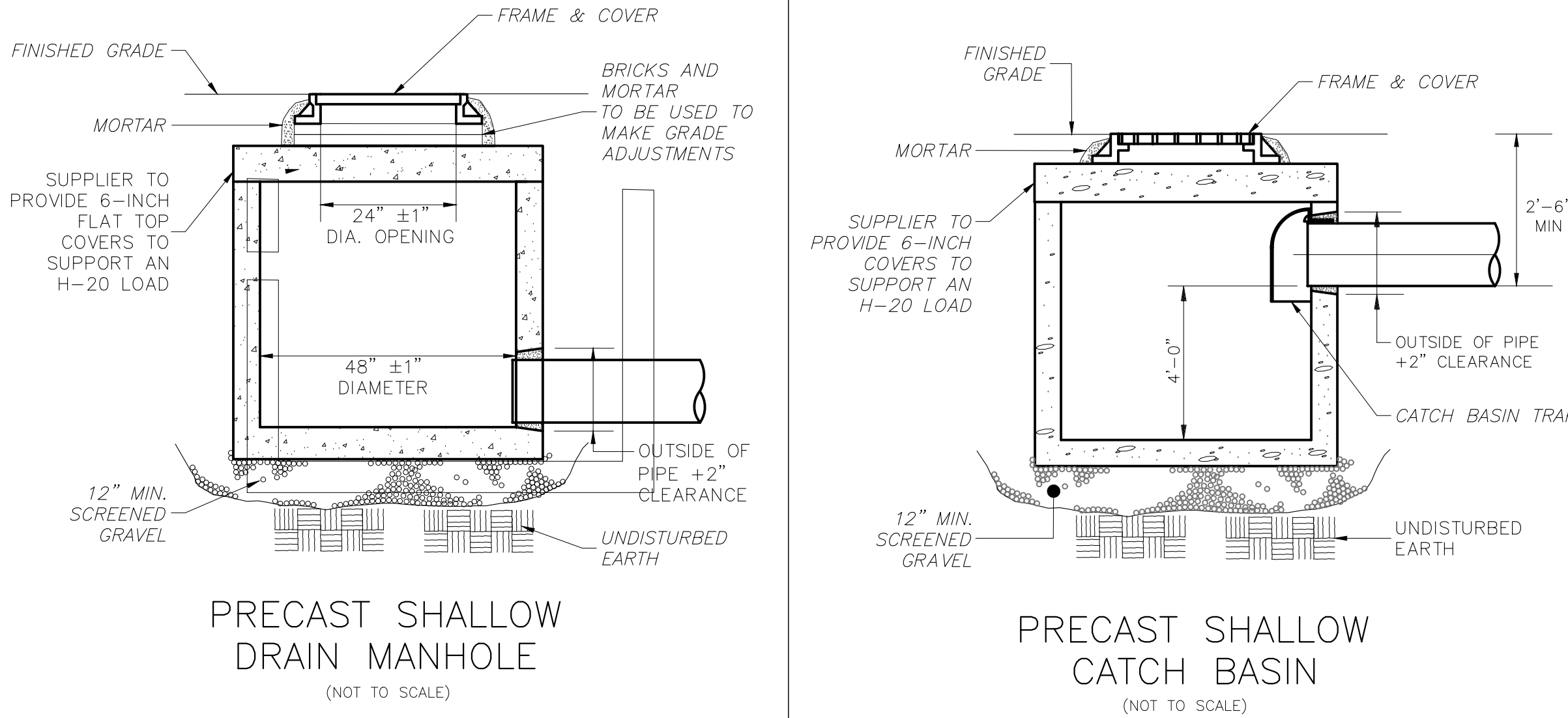
STORMTECH SC-740 TECHNICAL SPECIFICATIONS
(NOT TO SCALE)

MODEL SHOWN MAY BE SUBSTITUTED WITH A SUITABLE EQUIVALENT



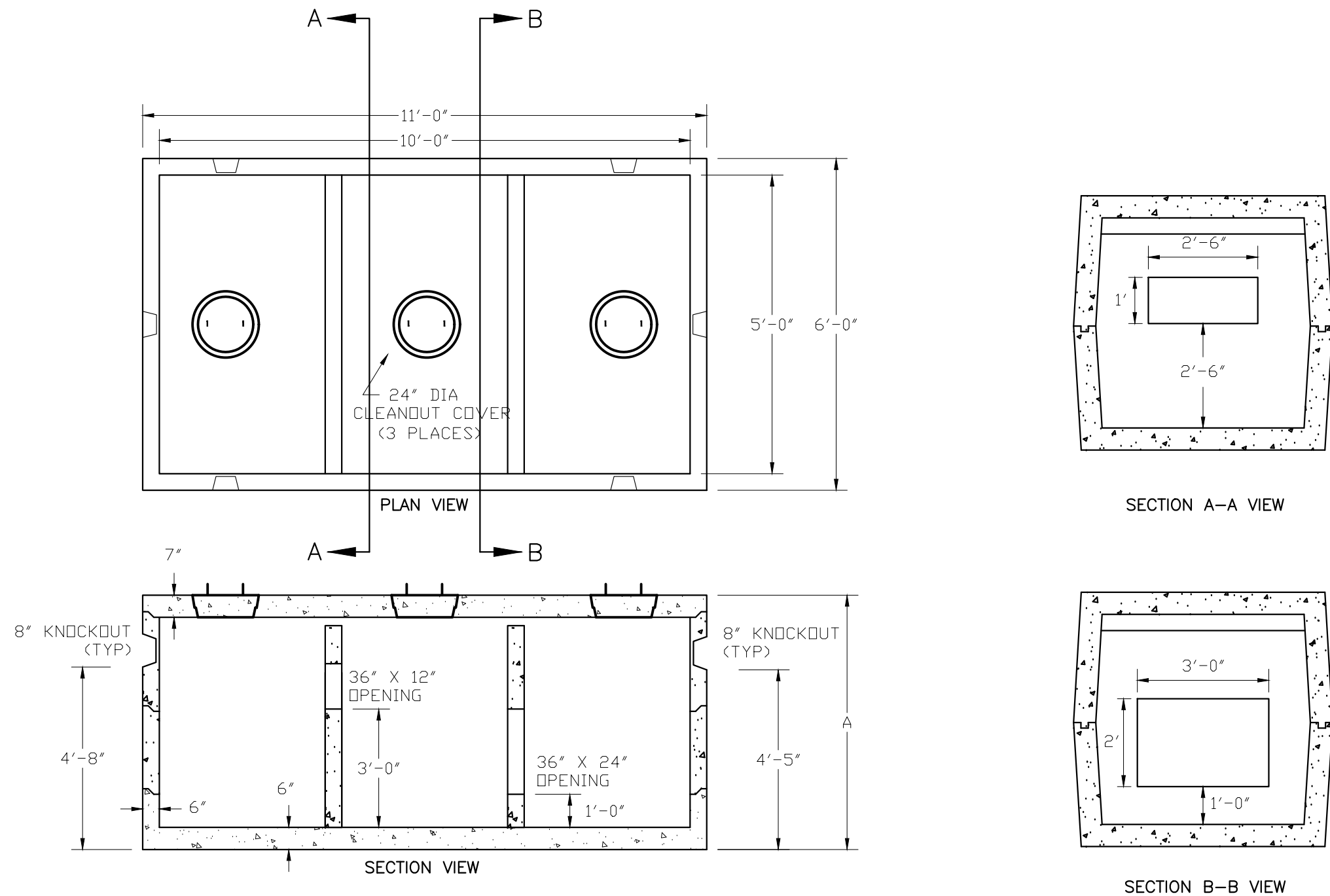
NOTES:

- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
- DESIGNED FOR H-20 LOADING.



PRECAST SHALLOW DRAIN MANHOLE
(NOT TO SCALE)

PRECAST SHALLOW CATCH BASIN
(NOT TO SCALE)



- NOTES:
- INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION VALLEY
 - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

INSPECTION PORT
(NOT TO SCALE)



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

- ☐ DRAWING ISSUED FOR REVIEW ONLY
☒ DRAWING ISSUED FOR PERMIT
☐ DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE	REVISIONS
10/19/2021	PB COMMENTS 10/14/2021
11/3/2021	PB COMMENTS 10/28/2021

SECTIONS	ITEM NO	WEIGHT
1'-0" RISER	MC-MCB12RH	440#
2'-0" RISER	MC-MCB24RH	880#
3'-0" RISER	MC-MCB36RH	1320#
2'-0" BASE	MC-MCB24SH	1175#
2'-0" BARREL	MC-MCB24BSH	880#
38" COVER	MC-MCB38CH	585#

NO SCALE

SEAL



DRAINAGE DETAIL PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

DRAINAGE DETAIL PLAN
(8 of 13)

C2.3

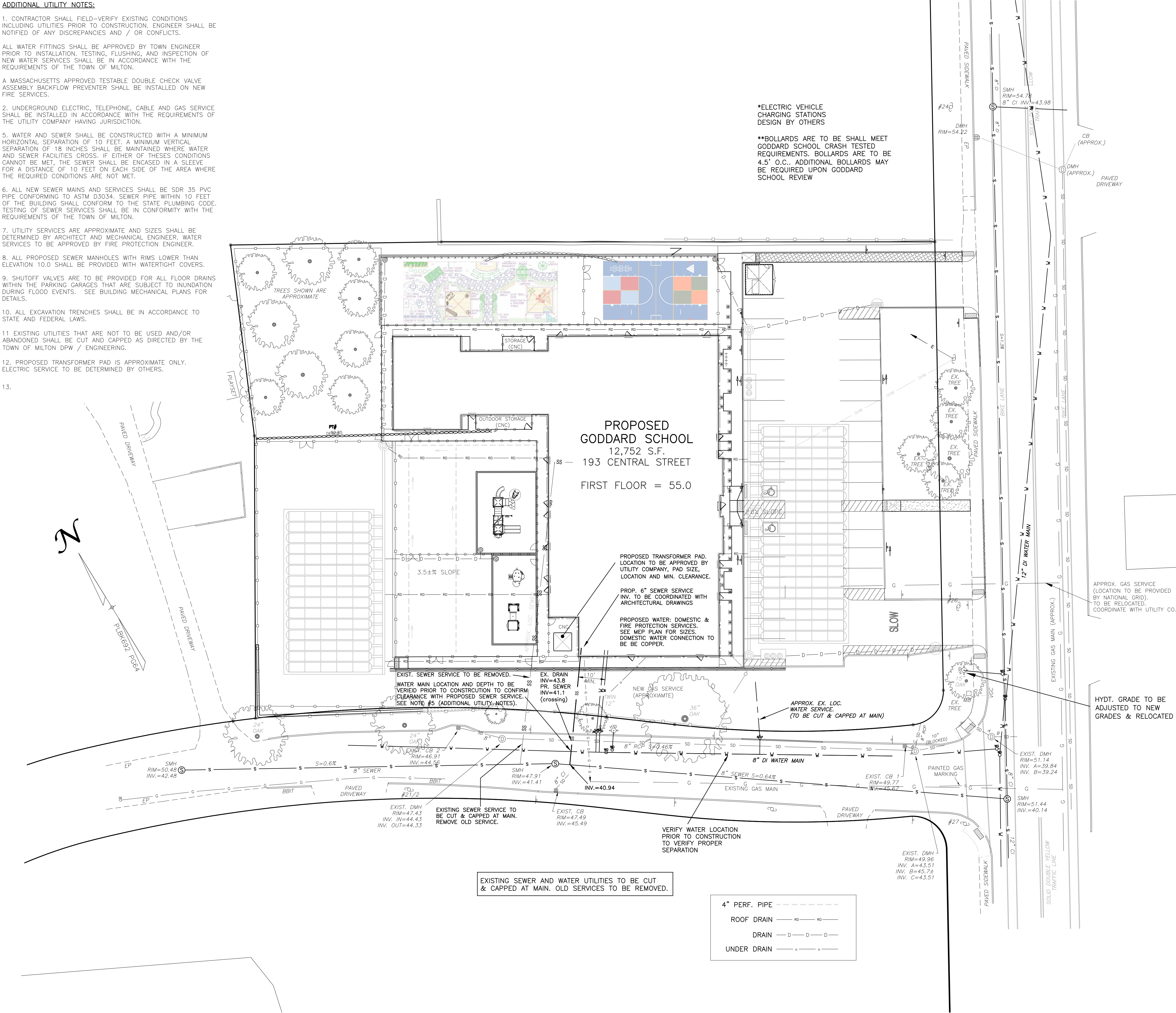
SEDIMENT AND OIL SEPARATOR
DETAIL
(NOT TO SCALE)

NOTES:

- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
- DESIGNED FOR H-20 LOADING. ALSO AVAILABLE IN H-10 LOADING WITH 3" WALL.
- TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.

ADDITIONAL UTILITY NOTES:

1. CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS INCLUDING UTILITIES PRIOR TO CONSTRUCTION. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES AND / OR CONFLICTS.
- ALL WATER FITTINGS SHALL BE APPROVED BY TOWN ENGINEER PRIOR TO INSTALLATION. TESTING, FLUSHING, AND INSPECTION OF NEW WATER SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF MILTON.
- A. MASSACHUSETTS APPROVED TESTABLE DOUBLE CHECK VALVE ASSEMBLY BACKFLOW PREVENTER SHALL BE INSTALLED ON NEW FIRE SERVICES.
2. UNDERGROUND ELECTRIC, TELEPHONE, CABLE AND GAS SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
5. WATER AND SEWER SHALL BE CONSTRUCTED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET. A MINIMUM VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED WHERE WATER AND SEWER FACILITIES CROSS. IF EITHER OF THESES CONDITIONS CANNOT BE MET, THE SEWER SHALL BE ENCASED IN A SLEEVE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE AREA WHERE THE REQUIRED CONDITIONS ARE NOT MET.
6. ALL NEW SEWER MAINS AND SERVICES SHALL BE SDR 35 PVC PIPE CONFORMING TO ASTM D3034. SEWER PIPE WITHIN 10 FEET OF THE BUILDING SHALL CONFORM TO THE STATE PLUMBING CODE. TESTING OF SEWER SERVICES SHALL BE IN CONFORMITY WITH THE REQUIREMENTS OF THE TOWN OF MILTON.
7. UTILITY SERVICES ARE APPROXIMATE AND SIZES SHALL BE DETERMINED BY ARCHITECT AND MECHANICAL ENGINEER. WATER SERVICES TO BE APPROVED BY FIRE PROTECTION ENGINEER.
8. ALL PROPOSED SEWER MANHOLES WITH RIMS LOWER THAN ELEVATION 10.0 SHALL BE PROVIDED WITH WATERTIGHT COVERS.
9. SHUTOFF VALVES ARE TO BE PROVIDED FOR ALL FLOOR DRAINS WITHIN THE PARKING GARAGES THAT ARE SUBJECT TO INUNDATION DURING FLOOD EVENTS. SEE BUILDING MECHANICAL PLANS FOR DETAILS.
10. ALL EXCAVATION TRENCHES SHALL BE IN ACCORDANCE TO STATE AND FEDERAL LAWS.
11. EXISTING UTILITIES THAT ARE NOT TO BE USED AND/OR ABANDONED SHALL BE CUT AND CAPPED AS DIRECTED BY THE TOWN OF MILTON DPW / ENGINEERING.
12. PROPOSED TRANSFORMER PAD IS APPROXIMATE ONLY. ELECTRIC SERVICE TO BE DETERMINED BY OTHERS.
- 13.



UTILITY NOTES

- 1) EXISTING TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES LLC CONDUCTED IN MARCH 2019.
- 2) ALL ELEVATIONS SHOWN ARE ON THE NAVD 88 DATUM.
- 3) THE UTILITIES SHOWN IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC AND FROM VARIOUS PLANS ON FILE WITH THE TOWN OF MILTON. NO REPRESENTATION OR WARRANTEE IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES DEPICTED OR NOT DEPICTED AND SHOULD BE CONSIDERED APPROXIMATE.
- 4) ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE IN RELATION TO ALL PROPOSED IS SITE WORK.
- 6) SITE WORK TO COMPLY TO ADA STANDARDS.
- 7) THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATING IS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THAT UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING CONSTRUCTION.
- 8) FINISH GRADE OF SOD TO MATCH PLAYGROUND PAD.
- 9) DIGSAFE NUMBER: 20202015352 CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
- 10) EXISTING SEWER SERVICE LOCATION FROM THE TOWN OF MILTON ENGINEERING SEWER CARD #763. VERIFY LOCATION PRIOR TO CONSTRUCTION.
- 11) EXISTING WATER SERVICE LOCATION FROM THE TOWN OF MILTON ENGINEERING SEWER CARD #1093. VERIFY LOCATION PRIOR TO CONSTRUCTION.
- 12) PROPOSED DRINKING FOUNTAINS IS TO COORDINATED WITH CONTRACTOR AND PLUMBER INSTALLER. WATER AND DRAIN TO MEET PLUMBING CODE. COORDIANTE WITH MEP FOR DOMESTIC WATER SIZE AND DRAIN LINE.
- 13) GAS MAIN SHOWN FROM NATIONAL GRID, LOCATION TO BE VERIFIED. SERVICE TO EXISTING BUILDING IS APPROXIMATE. NEW SERVICE MAY BE REQUIRED BY NATIONAL GRID & IF EXISTING SERVICE IS LOCATED IN PROPOSED INFILTRATION POND (P1).

LEGEND OF ABBREVIATIONS & SYMBOLS

- EXISTING CONTOUR — 98 ——— x 53.1
- EXISTING SPOT ELEVATION ——— x 53.1
- EXIST. BITUMINOUS BERM ——— x 53.1
- EXIST. FENCE ——— x 53.1
- APPROXIMATE WATER ——— x 53.1
- APPROXIMATE SEWER ——— x 53.1
- APPROX. SEWER SERVICE ——— x 53.1
- APPROX. STORM DRAIN ——— x 53.1
- APPROXIMATE GAS ——— x 53.1
- APPROXIMATE ELECTRIC ——— x 53.1
- OVERHEAD WIRES ——— x 53.1
- EXIST./PROP. SEWER MANHOLE ——— x 53.1
- EXIST./PROP. DRAIN MANHOLE ——— x 53.1
- EXIST. CATCH BASIN ——— x 53.1
- EXIST. HYDRANT ——— x 53.1
- EXIST. WATER GATE ——— x 53.1
- EXIST. GAS GATE ——— x 53.1
- BENCH MARK ——— x 53.1
- LIGHT ——— x 53.1
- TRAFFIC FLOW ——— x 53.1
- SIGN ——— x 53.1
- WALL ——— x 53.1
- UTILITY POLE ——— x 53.1
- PROP. CONTOUR ——— x 53.1
- PROP. SPOT GRADE ——— x 53.1
- DRAINAGE FLOW DIRECTION ——— x 53.1
- DRAIN CLEANOUT ——— x 53.1
- YARD DRAIN ——— x 53.1
- PROPOSED BOLLARD ——— x 53.1

BENCHMARKS

- BM#4 MAG NAIL — ELEVATION = 55.23
- BM#5 DRILL HOLE — ELEVATION = 55.23
- BM#6 S/N SET — ELEVATION = 47.53
- (TO BE VERIFIED BY WS ENGINEERS PRIOR TO CONSTRUCTION)
- DATUM IS NAVD88

MILTON TOWN DEPARTMENTS

- DEPARTMENT OF PUBLIC WORKS**
629 RANDOLPH AVENUE
MILTON, MA 02186
617-898-4900
- INSPECTIONAL SERVICES**
525 CANTON AVENUE
MILTON, MA 02186
617-898-4925
- PLUMBING & GAS**
525 CANTON AVENUE
MILTON, MA 02186
617-898-4928
- ELECTRIC DEPARTMENT**
525 CANTON AVENUE
MILTON, MA 02186
617-898-4927
- ENGINEERING**
525 CANTON AVENUE
MILTON, MA 02186
617-898-4973
- FIRE DEPARTMENT**
515 CANTON AVENUE
MILTON, MA 02186
617-898-4901

PRIVATE UTILITY COMPANIES

- DIGSAFE:**
811 <http://www.digsafe.com>
DIGSAFE NUMBER:
- RCN:**
1-800-746-4726
- EVERSOURCE:**
800-592-2000
- VERIZON**
1-800-837-4966
- NATIONAL GRID:**
1-800-233-5325
- COMCAST/XFINITY**
1-800-266-2278



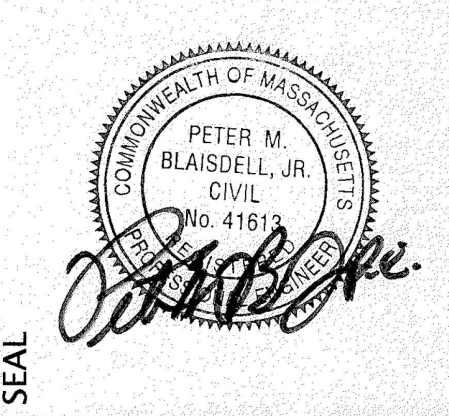
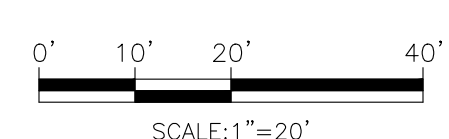
Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

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☒ DRAWING ISSUED FOR PERMIT
☐ DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE	REVISIONS
10/19/2021	PB COMMENTS 10/14/2021
11/3/2021	PB COMMENTS 10/28/2021



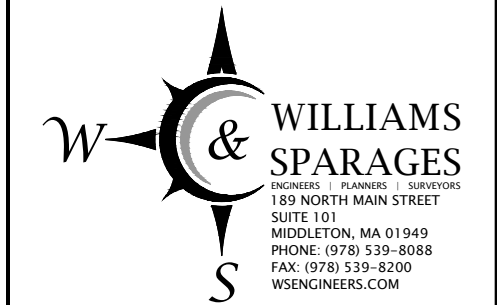
UTILITY PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

UTILITY PLAN
(9 of 13)

C3.1

PHOTOMETRIC
PLAN
(10 of 13)

C4.1



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
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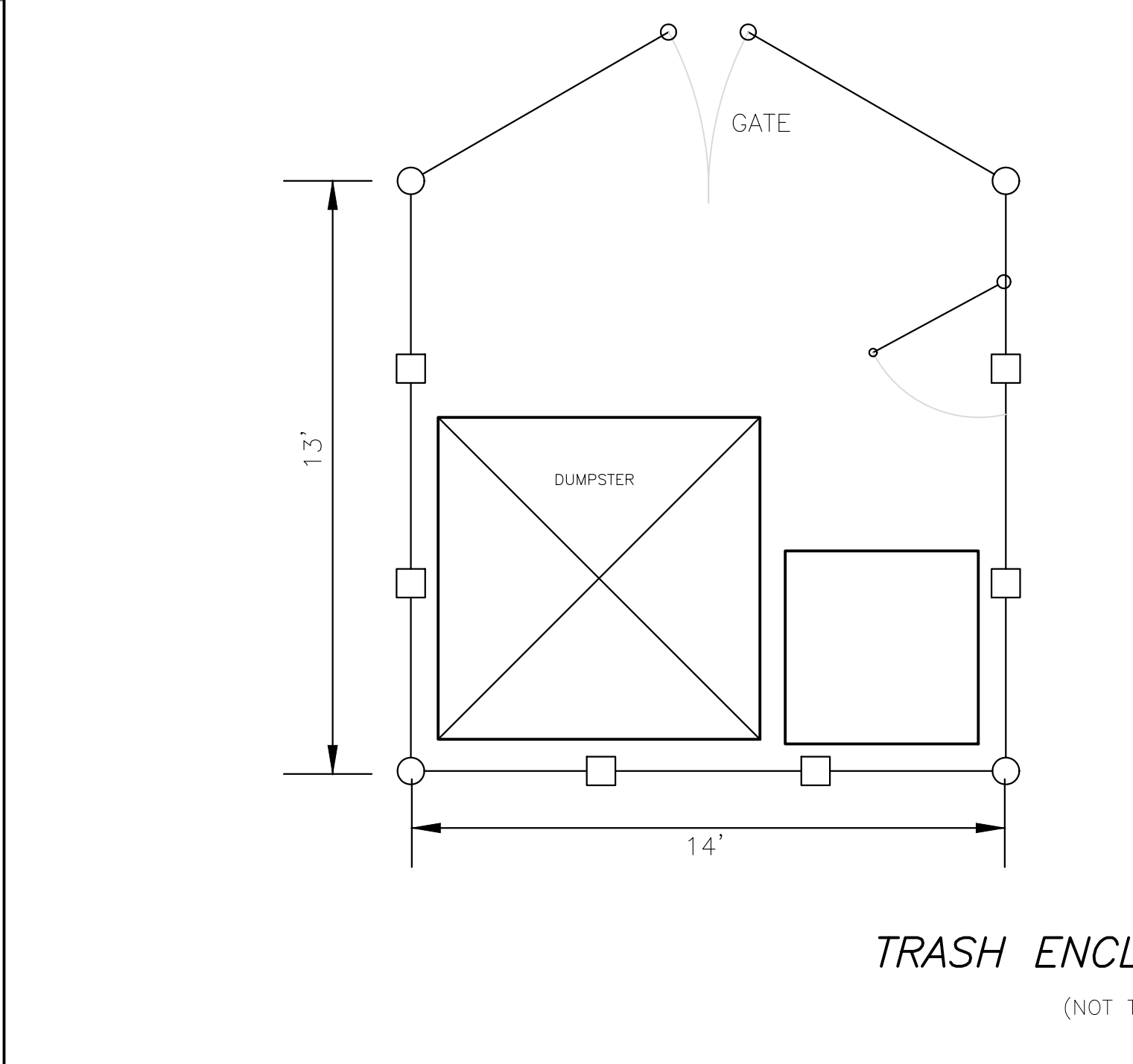
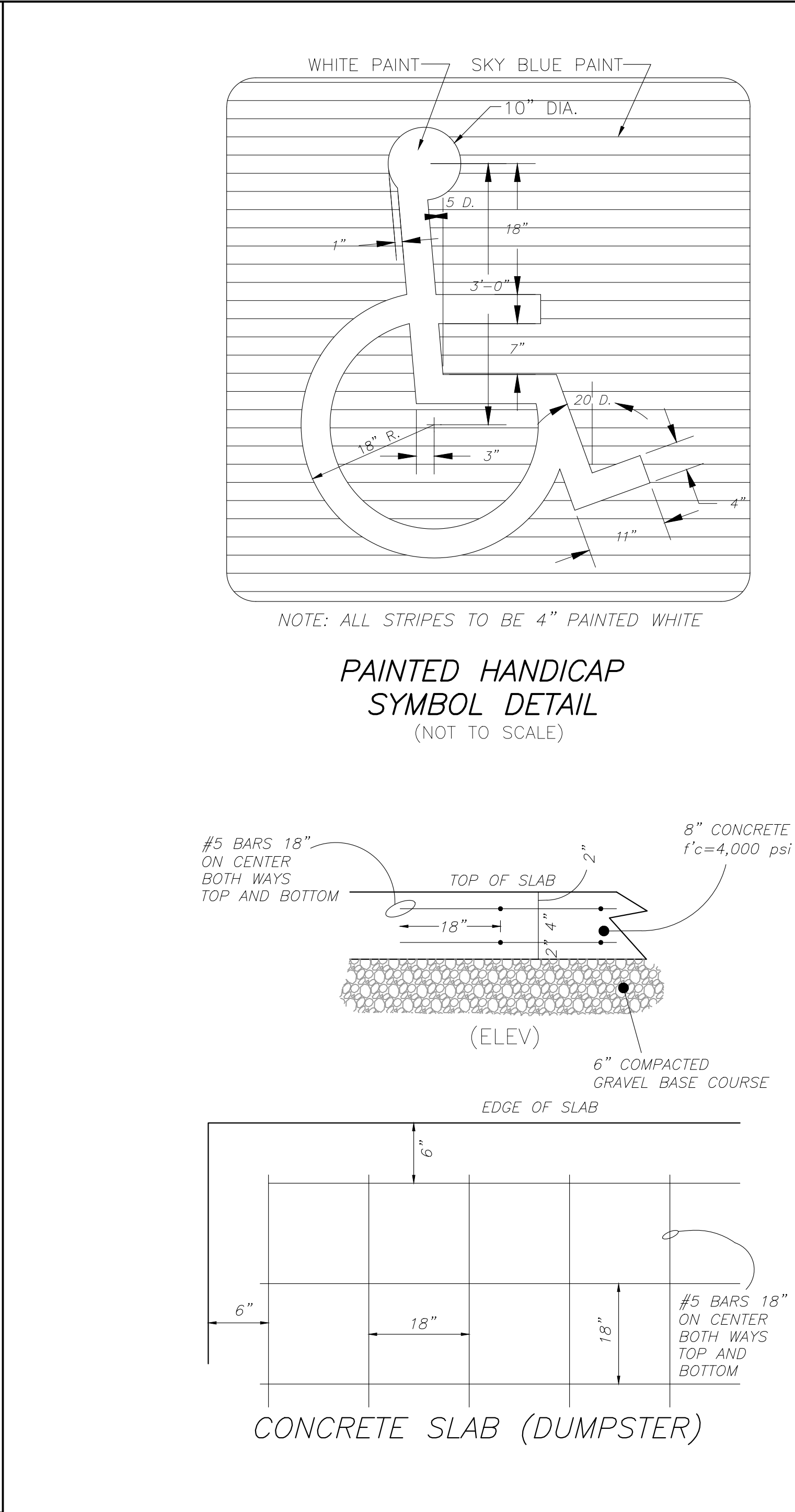
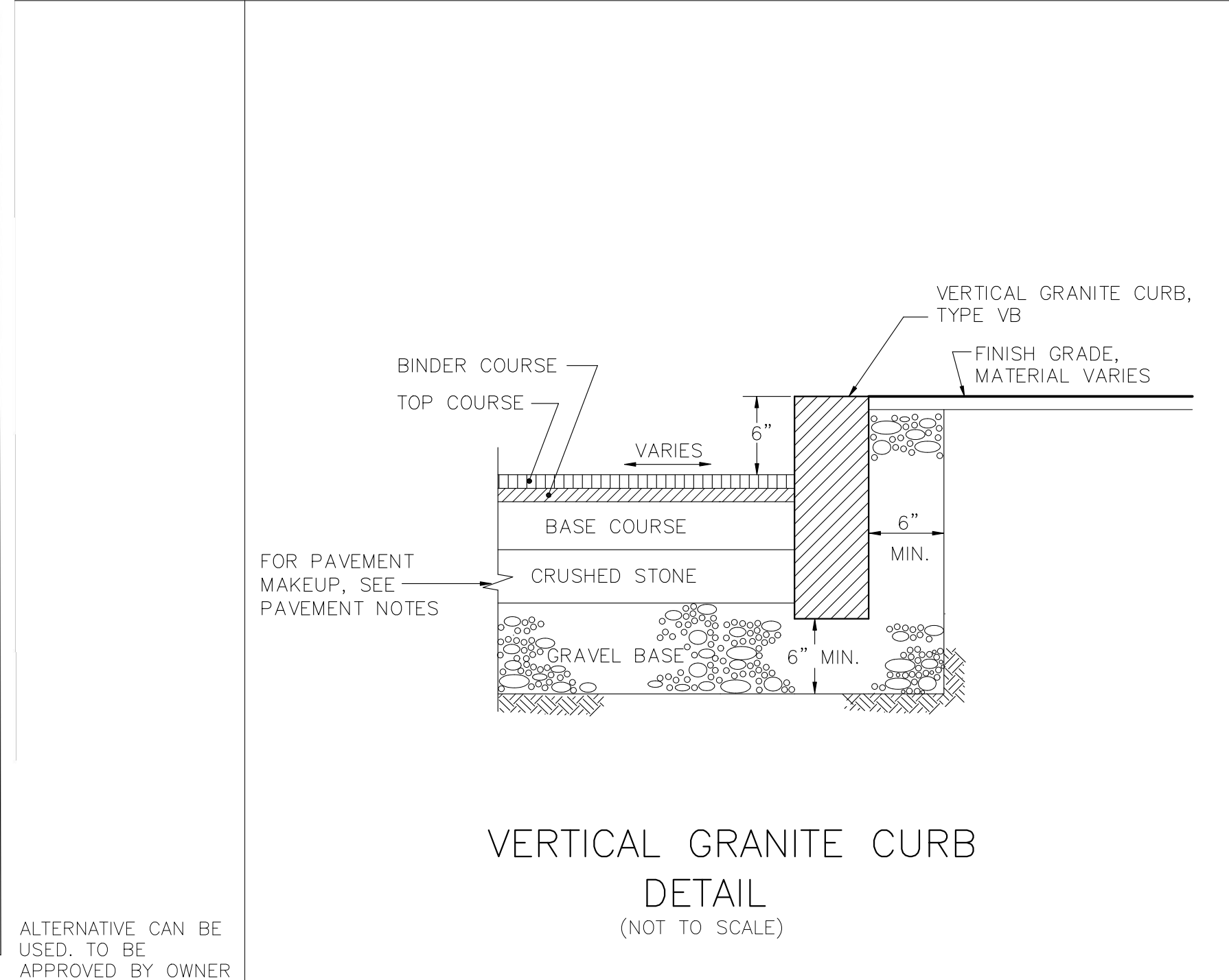
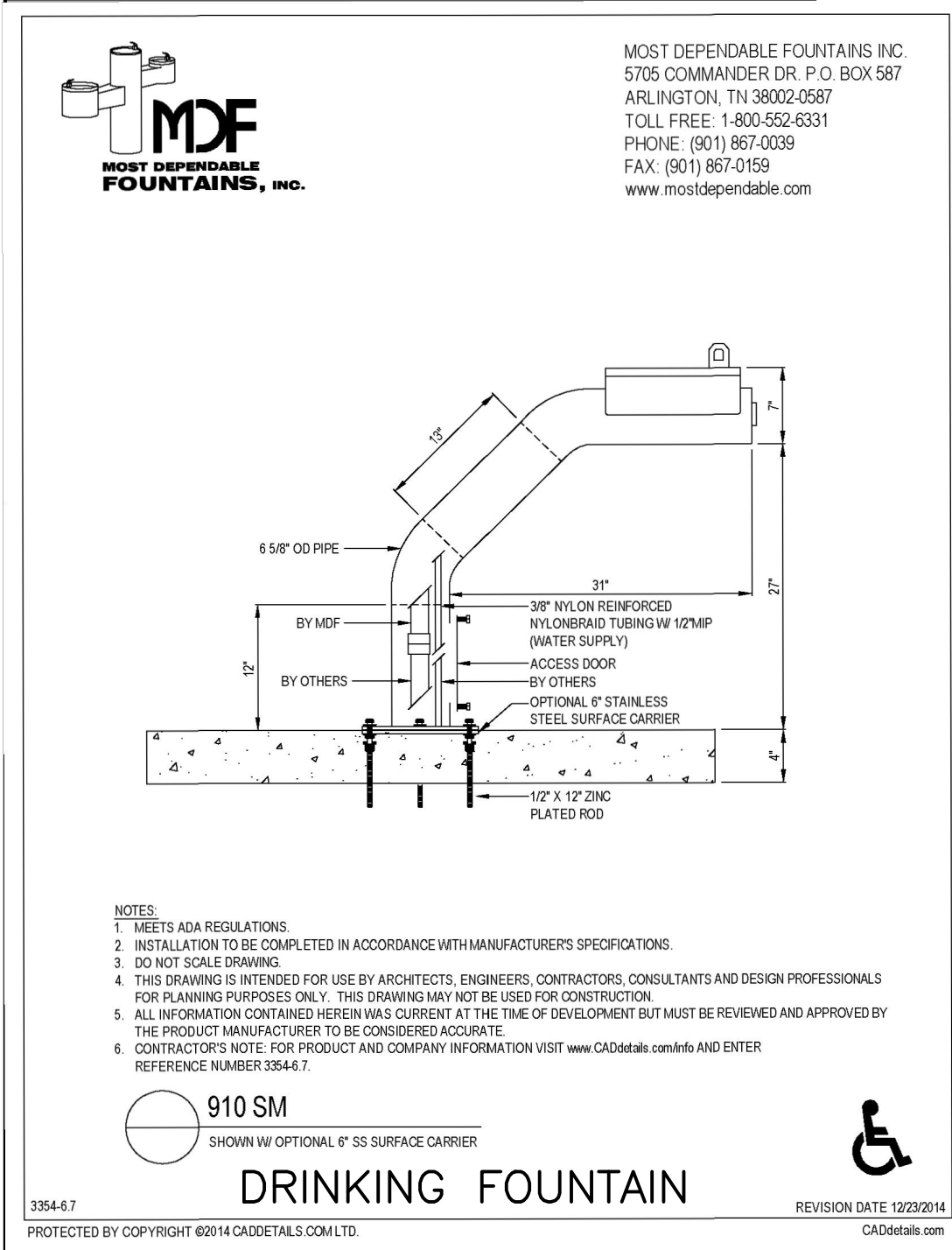
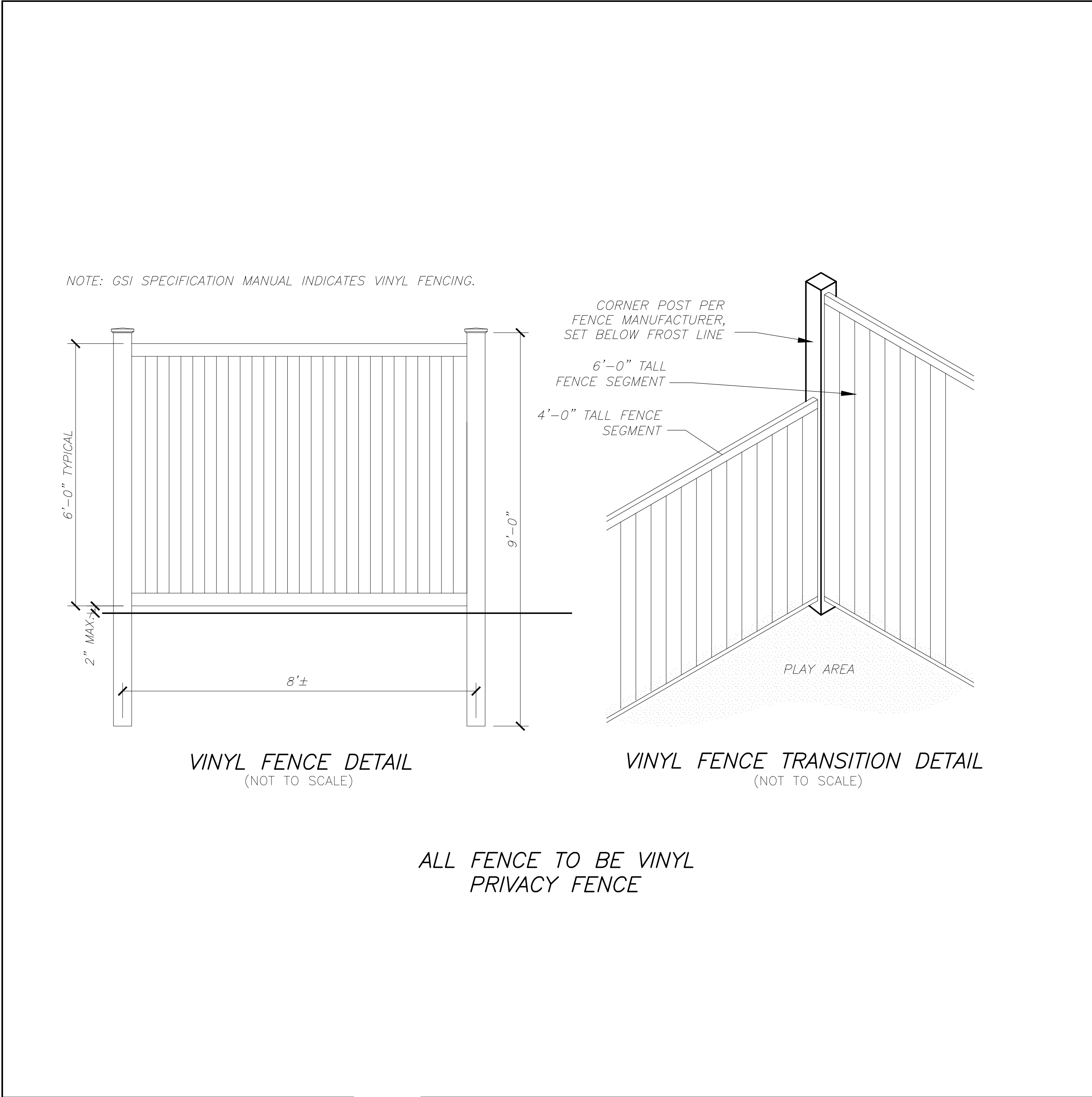
DATE: SEPTEMBER 7, 2021

DATE	REVISIONS

SEAL



PHOTOMETRIC PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS



WILLIAMS SPARAGES
185 NORTH MAIN STREET
MIDDLETON, MA 01549
PHONE: (508) 539-8888
FAX: (508) 539-8200
WWW.WILLIAMS-SPARAGES.COM

Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
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DATE: SEPTEMBER 7, 2021

DATE	REVISIONS
10/19/2021	PB COMMENTS 10/14/2021
11/3/2021	PB COMMENTS 10/28/2021

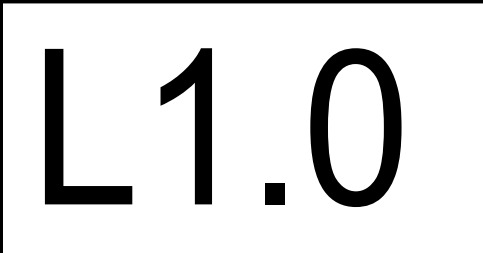
SEAL

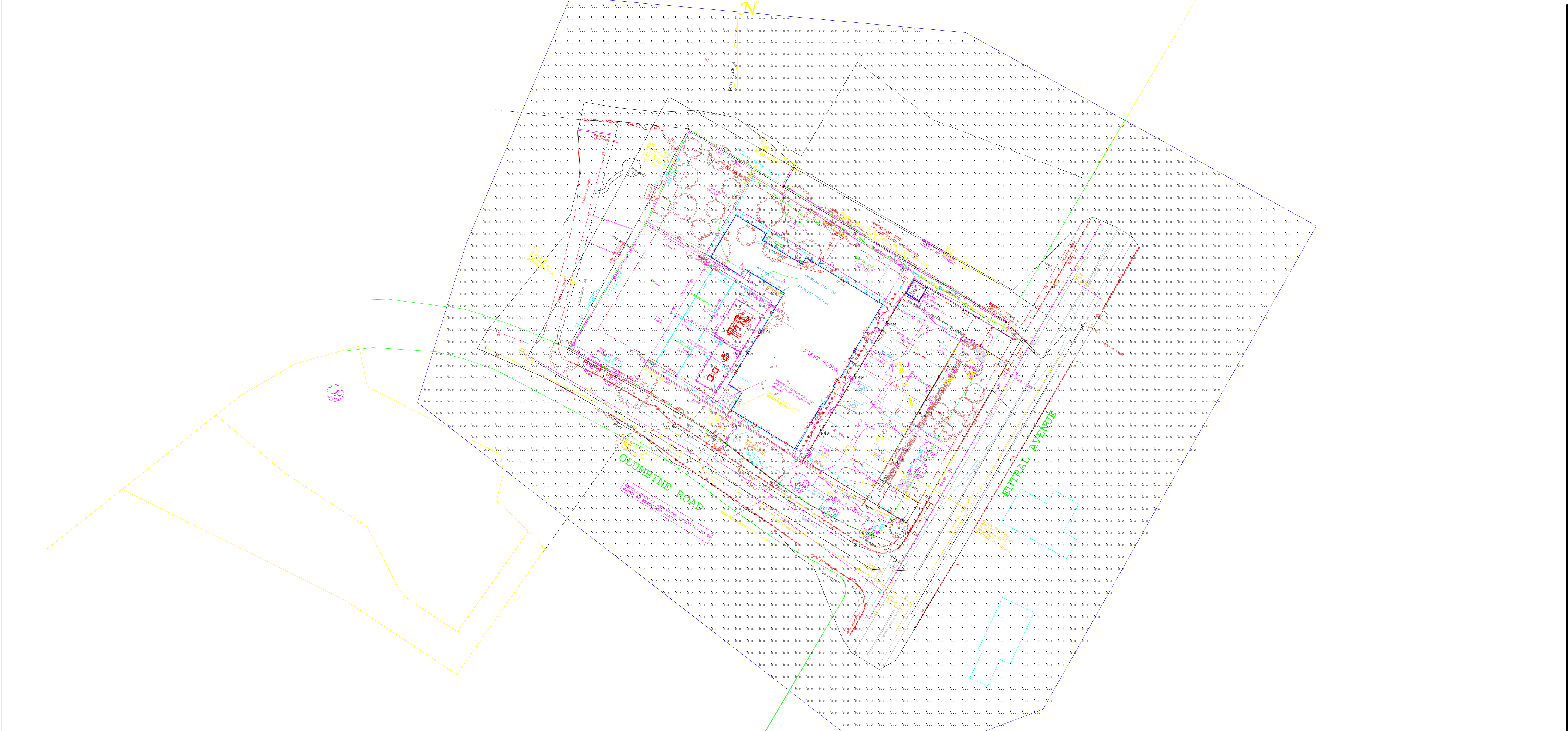
SITE DETAILS

THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

SITE DETAILS
(11 of 13)

C5.1






Luminaire Schedule						
Scene: JUST POLES						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
-	2	P3	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-3-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
-	3	P4	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
-	3	P4W	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4W-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS

Urban Fixture on 10 foot pole.
Site only depreciated to compare to IESNA criteria.

Calculation Summary							
Scene: JUST POLES							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ground plane_Planar	Illuminance	Fc	0.1	3.5	0.0	N.A.	N.A.
DRIVEWAY AND PARKING	Illuminance	Fc	1.0	3.5	0.0	N.A.	N.A.
Spill beyond property	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.



#	Date	Comments

Revisions

Drawn By:RK

Checked By:

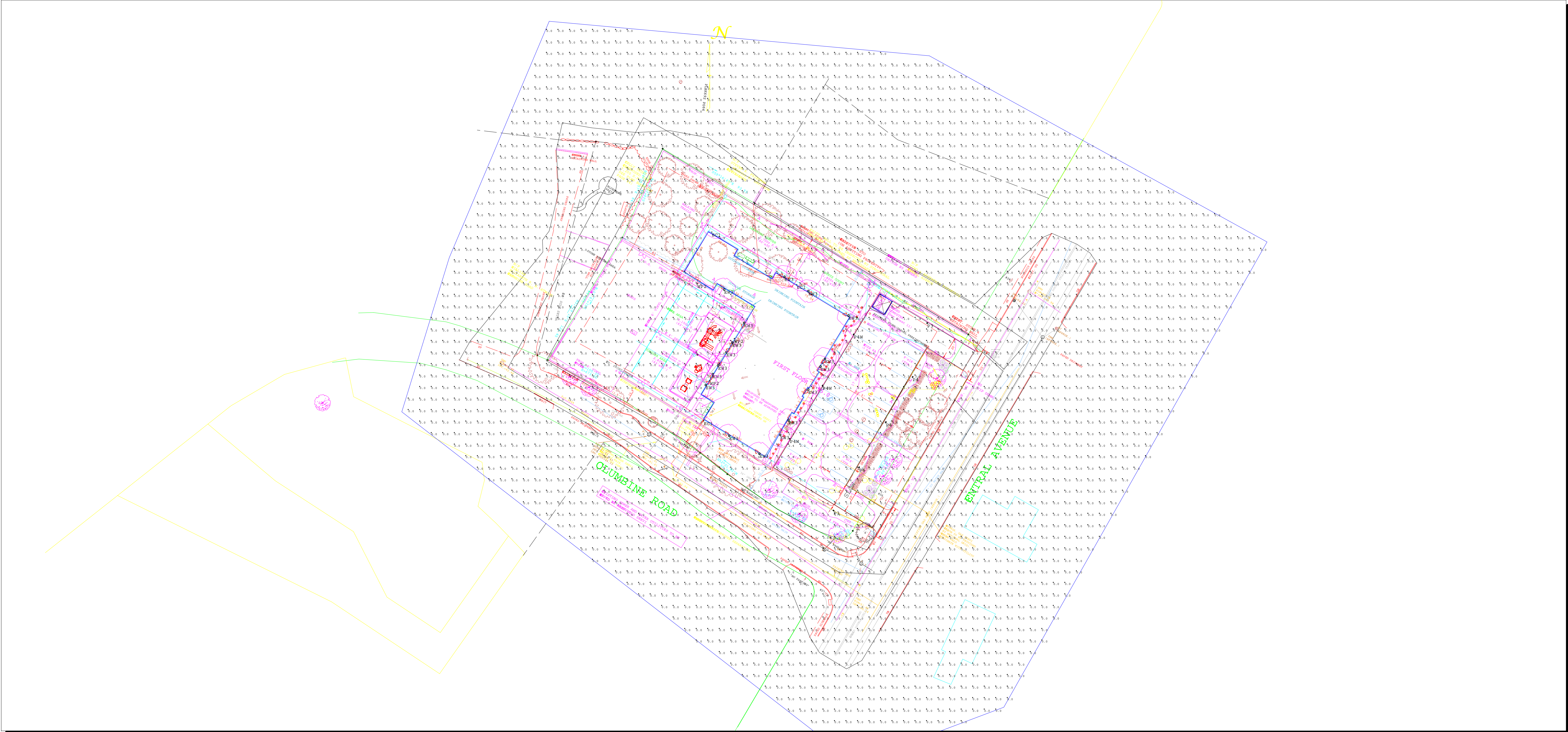
Date:10/26/2021

Scale:

Goddard School

Milton


Page M of 1



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
⊙	3	EC1	SINGLE	N.A.	1.000	HUBBELL ML-2L3K-1
⊙	17	EW3	SINGLE	466.23	0.880	MODERN FORMS- WS-W28514
▬	2	P3	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-3-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
▬	3	P4	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
▬	3	P4W	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4W-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
▬	3	WP2	SINGLE	N.A.	0.880	HUBBELL LNC-5LU-3K-4-X PC

All ON
Fire Alarm condition

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ground plane_Planar	Illuminance	Fc	0.1	3.5	0.0	N.A.	N.A.
DRIVEWAY AND PARKING	Illuminance	Fc	1.0	3.5	0.0	N.A.	N.A.
Spill beyond property	Illuminance	Fc	0.0	0.3	0.0	N.A.	N.A.



#	Date	Comments

Revisions

Drawn By:RK	Goddard School	Milton
Checked By:		
Date:10/26/2021		
Scale:	Page M of 1	