

ZONING DISTRICT: RESIDENCE B

	REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	63,780 s.f.
MINIMUM LOT FRONTRAGE	100 ft	197.76 ft.
MINIMUM FRONT SETBACK	25 ft.	90.3 ft.
MINIMUM SIDE SETBACK	35 ft.	41.5 ft.
MINIMUM REAR SETBACK	40 ft.	61.0 ft.
ACCESSORY STRUCTURE SETBACK	10 ft.	15.8 ft. (RET. WALL)
MAXIMUM BUILDING HEIGHT	35 ft.	33.25 ft.
MAXIMUM BUILDING HEIGHT (STORIES)	2.5	2.5
MAXIMUM GROSS FLOOR AREA	40%	34.2% (21,785 s.f.)
OPEN SPACE	50%	58.7%
FRONT SETBACK IMPERVIOUS AREA	40% (4,880 s.f.)	15% (1,800 s.f.)
CORNER LOT PARKING IN SETBACK	30%	12%

FRONT YARD: IN A RESIDENCE B DISTRICT NO BUILDING SHALL BE ERECTED WITHIN 25 FEET OF THE LINE OF THE STREET ON WHICH IT FRONTS PROVIDED THAT NO BUILDING NEED BE SET BACK MORE THAN 25 PERCENT OF THE MEAN DEPTH OF THE LOT NOR MORE THAN THE AVERAGE OF THE SETBACKS OF THE BUILDINGS ON THE LOTS IMMEDIATELY NEXT THERETO ON EITHER SIDE, A VACANT LOT OR A LOT OCCUPIED BY A BUILDING SET BACK MORE THAN 25 FEET BEING COUNTED AS THOUGH OCCUPIED BY A BUILDING SET BACK 25 FEET.

SIDE YARD: RESIDENCE B DISTRICT WITHIN 12 FEET OF A SIDE LOT LINE OR WITHIN 24 FEET OF ANY OTHER BUILDING ON AN ADJACENT.

REAR YARD: NO BUILDING EXCEPT A ONE-STORY BUILDING OF ACCESSORY USE SHALL BE ERECTED OR MAINTAINED WITHIN 30 FEET OF THE REAR LOT LINE, PROVIDED THAT NO BUILDING NEED BE SET BACK FROM THE REAR LOT LINE MORE THAN 30 PERCENT OF THE MEAN DEPTH OF THE LOT.

THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS

CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES B.4.a.	3 SPACES/2 INSTRUCTIONAL ROOMS 11 ROOMS/2 x 3 = 17	31 SPACES (3 COMPACT SPACE-16'X8')
HANDICAP	2 SPACES	2 SPACES

SECTION VII. PARKING REGULATIONS.
G. IN RESIDENCE AA, A, B OR C DISTRICT, ANY PARKING AREA FOR MORE THAN 5 AUTOMOBILES SHALL BE SET BACK FROM ANY STREET OR FRONT LOT LINE AT LEAST THE SAME DISTANCE AS A BUILDING IN SUCH DISTRICT MUST BE SET BACK FROM SUCH A STREET PURSUANT TO THE PROVISIONS IN PARAGRAPHS 1, 2 OR 3 OF SECTION VI.

PROJECT NOTES

- EXISTING TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PROVIDED BY WILLIAMS & SPARAGES, LLC ON MARCH 17, 2020.
- ALL ELEVATIONS SHOWN ARE REFERENCED TO THE NAVD88.
- THE UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARAGES, LLC AND FROM VARIOUS PLANS ON FILE WITH THE TOWN OF MILTON. NO REPRESENTATION OR WARRANTY IS MADE AS TO THE ACCURACY OF THE LOCATION OF THE SUBSURFACE UTILITIES DEPICTED OR NOT DEPICTED AND SHOULD BE CONSIDERED APPROXIMATE.
- ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
- IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
- DIGSAFE NUMBER: 20202015352 CONTRACTOR TO CALL DIGSAFE PRIOR TO CONSTRUCTION (811), TO UPDATE TICKET AND/OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE, BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
- ANY PROPOSED WATER CONNECTIONS ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND ARCHITECTURAL SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
- ANY PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
- THE APPLICANT SHALL COORDINATE WITH THE MILTON WATER DEPARTMENT TO ENSURE PROPER DOMESTIC AND FIRE FLUSHES PRIOR TO BUILDING PERMIT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ABUTTING PROPERTIES FROM DAMAGE RESULTING FROM PROPOSED SITE WORK.
- SITE WORK TO COMPLY TO ADA STANDARDS.
- SEE DEMOLITION PLAN PRIOR TO CONSTRUCTION.
- SEE PLANNING BOARD DECISION PRIOR TO CONSTRUCTION.
- SEE STORMWATER PERMIT PRIOR TO CONSTRUCTION.



THE GODDARD SCHOOL® FOR EARLY CHILDHOOD DEVELOPMENT

Goddard Milton
193 Central Avenue
Milton, MA 02186



TOWN OF MILTON DEPARTMENT CONTACTS:

MILTON TOWN HALL

525 CANTON AVENUE
MILTON, MA 02186
617-898-4800

DEPARTMENT OF PUBLIC WORKS

629 RANDOLPH AVENUE
MILTON, MA 02186
617-898-4900

INSPECTIONAL SERVICES

525 CANTON AVENUE
MILTON, MA 02186
617-898-4925

PLUMBING & GAS

525 CANTON AVENUE
MILTON, MA 02186
617-898-4928

ELECTRIC DEPARTMENT

525 CANTON AVENUE
MILTON, MA 02186
617-898-4927

CODE ENFORCEMENT

525 CANTON AVENUE
MILTON, MA 02186
617-898-4839

ENGINEERING

525 CANTON AVENUE
MILTON, MA 02186
617-898-4973

POLICE DEPARTMENT

40 HIGHLAND STREET
MILTON, MA 02186
617-698-3800

FIRE DEPARTMENT

515 CANTON AVENUE
MILTON, MA 02186
617-898-4901

PLANNING BOARD

525 CANTON AVENUE
MILTON, MA 02186
617-898-4847

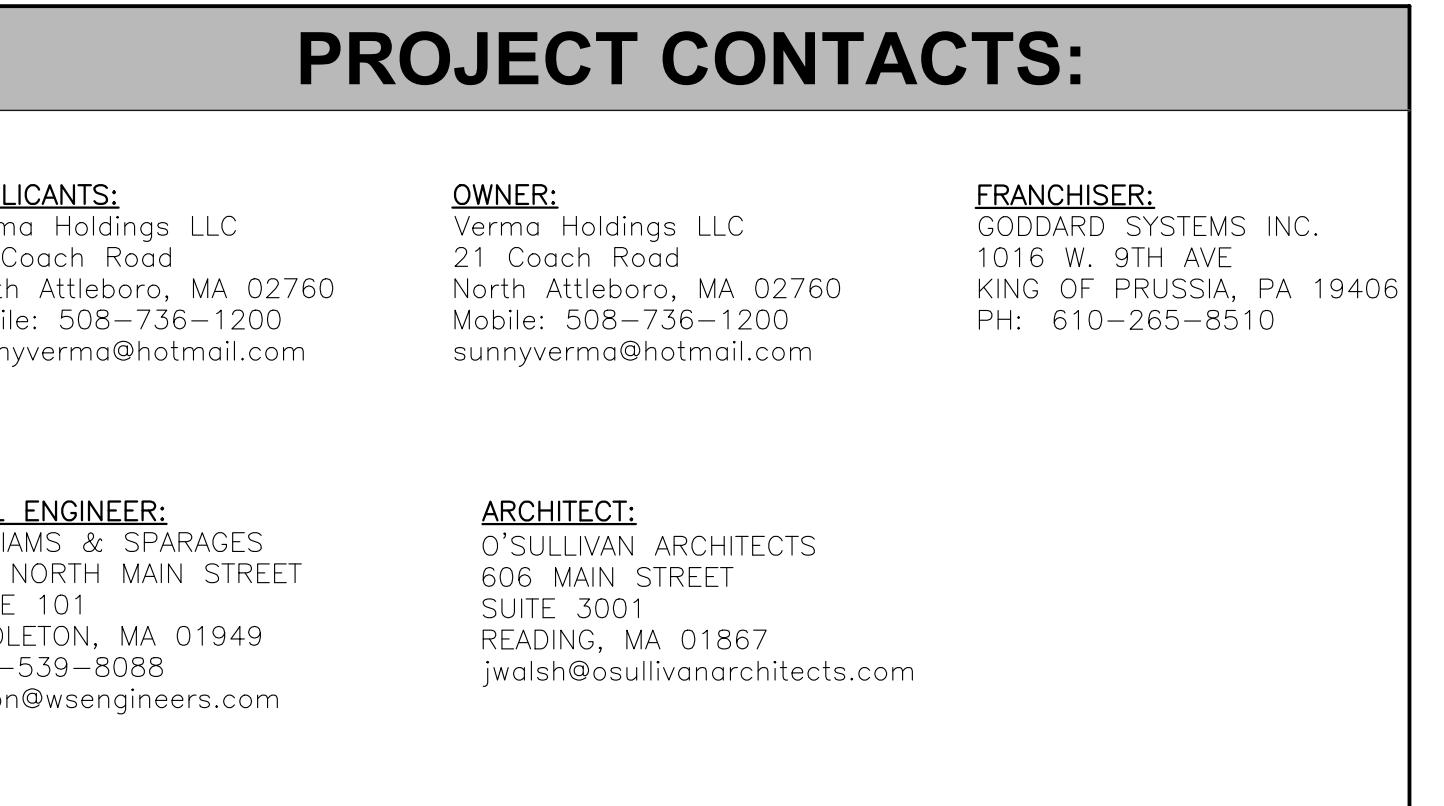
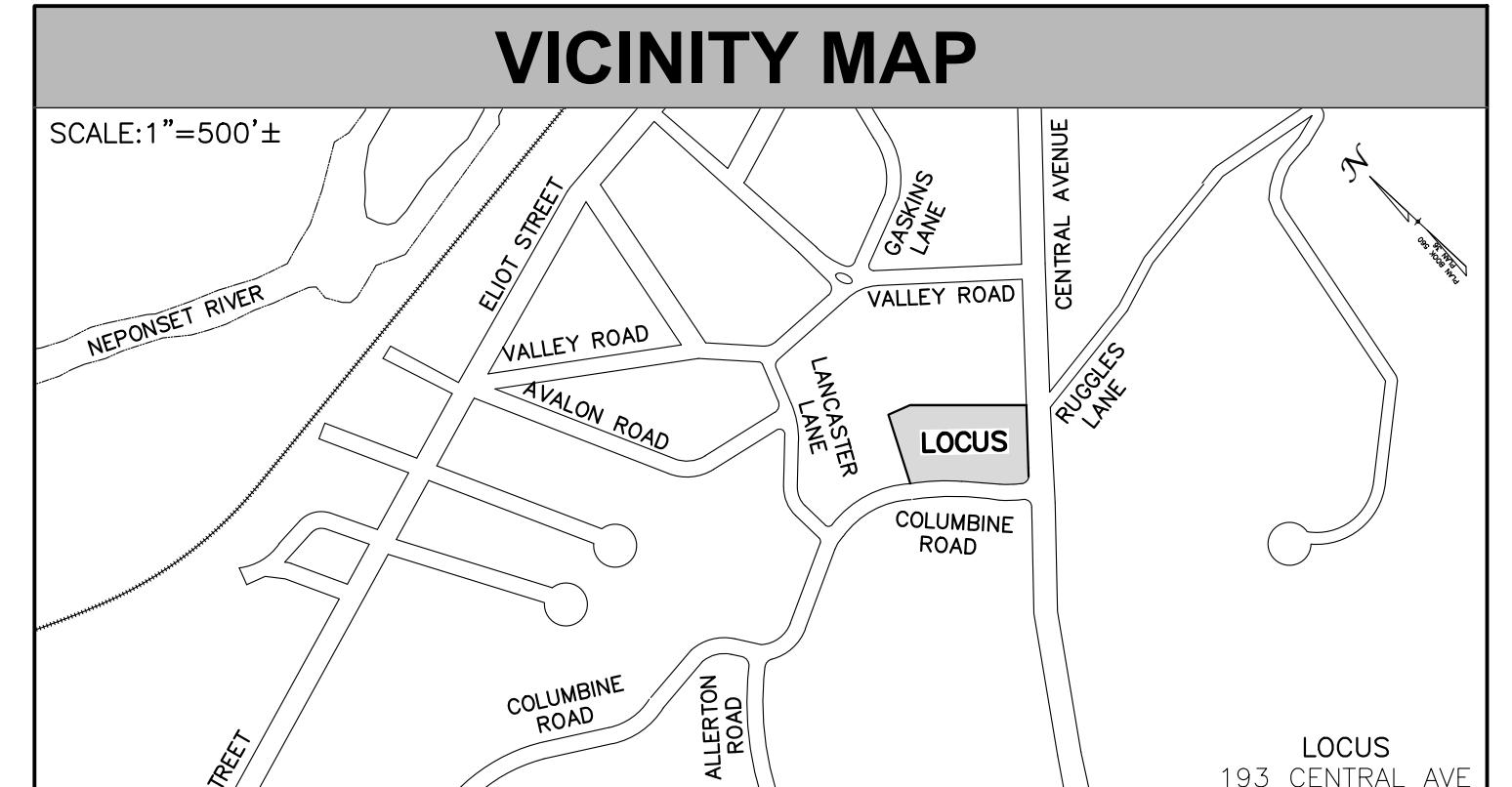
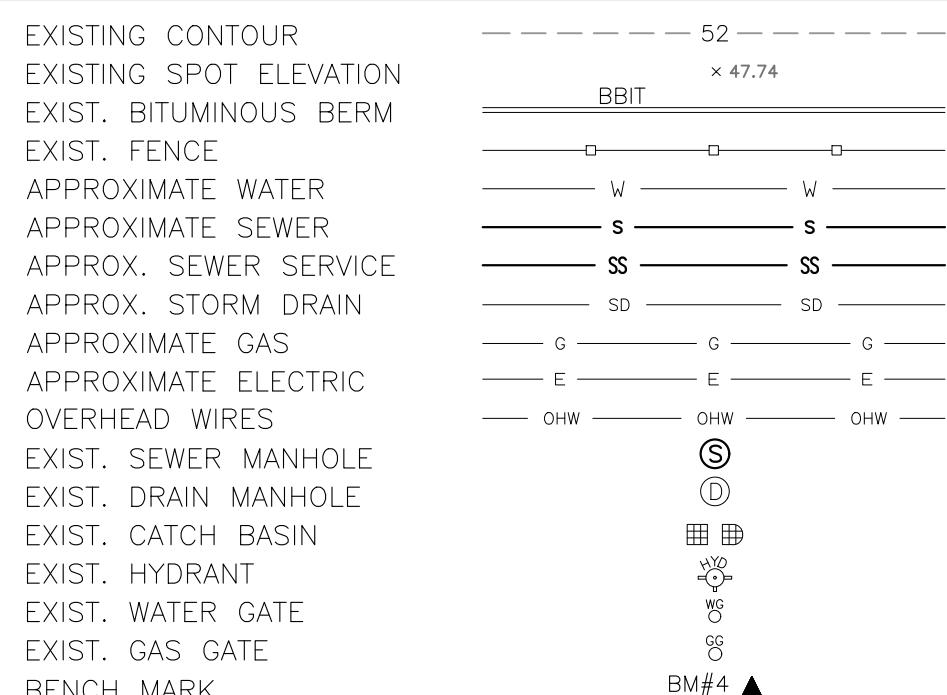
PLANNING

525 CANTON AVENUE
MILTON, MA 02186
781-751-4847

HEALTH DEPARTMENT

525 CANTON AVENUE
MILTON, MA 02186
781-751-4886

LEGEND OF SYMBOLS



LIST OF DRAWING SHEETS:

SHEET NUMBER & NAME

CIVIL: WILLIAMS & SPARAGES, LLC	SHEET	Milton PB Approval	GSI Rev. #1	GSI Rev. #2	GSI Rev. #3
T1.1 TITLE SHEET	1				
C1.0 EXISTING CONDITIONS PLAN	2				
C1.1 SITE PLAN	3				
C1.2 PLAYGROUND DETAILS	4				
C1.3 PLAYGROUND DETAILS	5				
C2.1 GRADING PLAN	6				
C2.2 DRAINAGE PLAN	7				
C2.3 DRAINAGE DETAIL PLAN	8				
C3.1 UTILITY PLAN	9				
PHOTOMETRIC PLAN (By Others)	10				
C5.1 SITE DETAILS	11				
C5.2 SITE DETAILS	12				
L1.0 LANDSCAPE PLAN	13				

CODE:

G1.1 CODE STUDY

ARCHITECTURAL: O'SULLIVAN ARCHITECTS, INC.



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

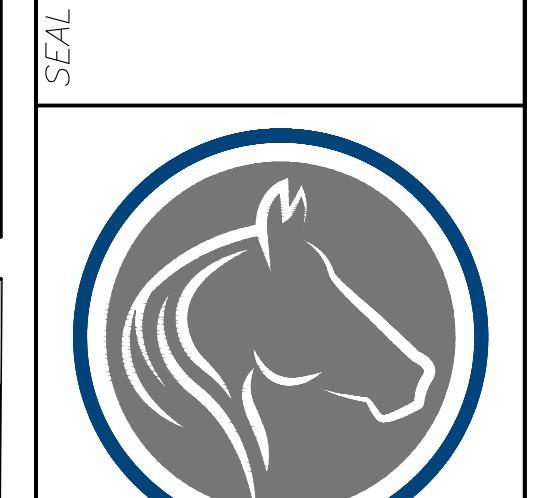
Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18

DRAWING ISSUED FOR REVIEW ONLY
 DRAWING ISSUED FOR PERMIT
 DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE | REVISIONS
10/19/2021 | PB COMMENTS
10/14/2021
11/3/2021 | PB COMMENTS
10/28/2021

SCALE: AS SHOWN



SITE PLAN SET
TITLE SHEET
NEW GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

NON-TOWN UTILITY CONTACTS:

DIGSAFE:	EVERSOURCE:	NATIONAL GRID:
811 HTTP://WWW.DIGSAFE.COM DIGSAFE NUMBER: 20202015352 5/15/2020	800-592-2000	1-800-233-5325

VERIZON: 1-800-837-4966
COMCAST/XFINITY: 1-800-266-2278

Information provided by Town Website & DigSafe

PLAN REFERENCES:

OWNER:	SITE ADDRESS:
Verma Holdings LLC 21 Coach Road North Attleboro, MA 02760 Mobile: 508-736-1200 sunnyverma@hotmail.com	193 CENTRAL AVE. MILTON, MA 02186
ASSESSORS MAP:	MAP E BLOCK 5 LOT 28
DATE:	

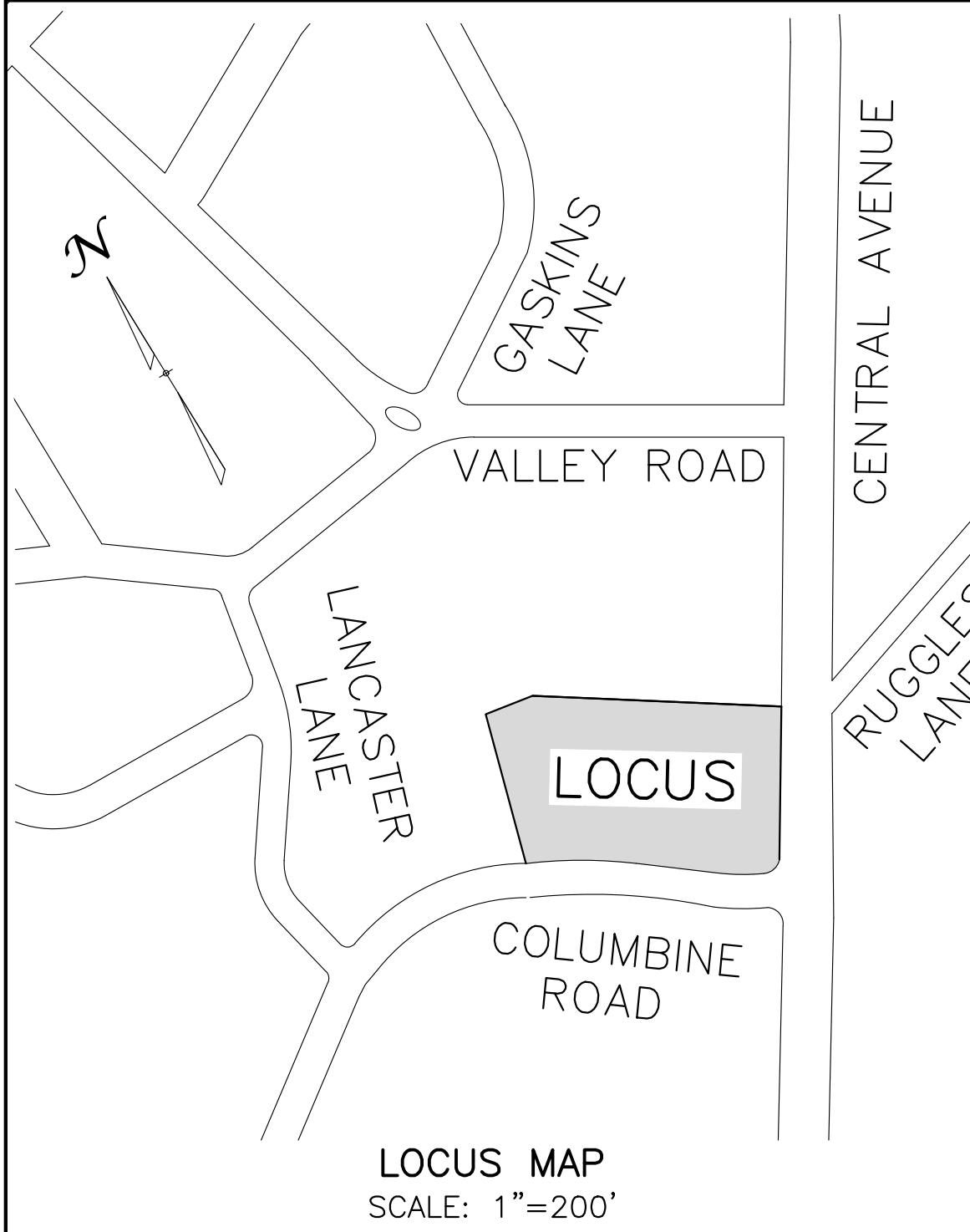
GODDARD PLAN REVIEW:

SIGNATURE: GSI PROJECT DATE:

GSI REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH GSI PROTOTYPE DRAWING AND SPECIFICATIONS. OWNER, DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT THE BUILDING MEETS ALL STATE AND LOCAL ORDINANCES, REGULATIONS, CODES, AND CHILD CARE LICENSING REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION. ANY DEVIATION FROM THE GSI PROTOTYPE DRAWING AND SPECIFICATIONS MUST BE APPROVED BY THE GSI FM.

TITLE SHEET (1 of 13)

T1.1



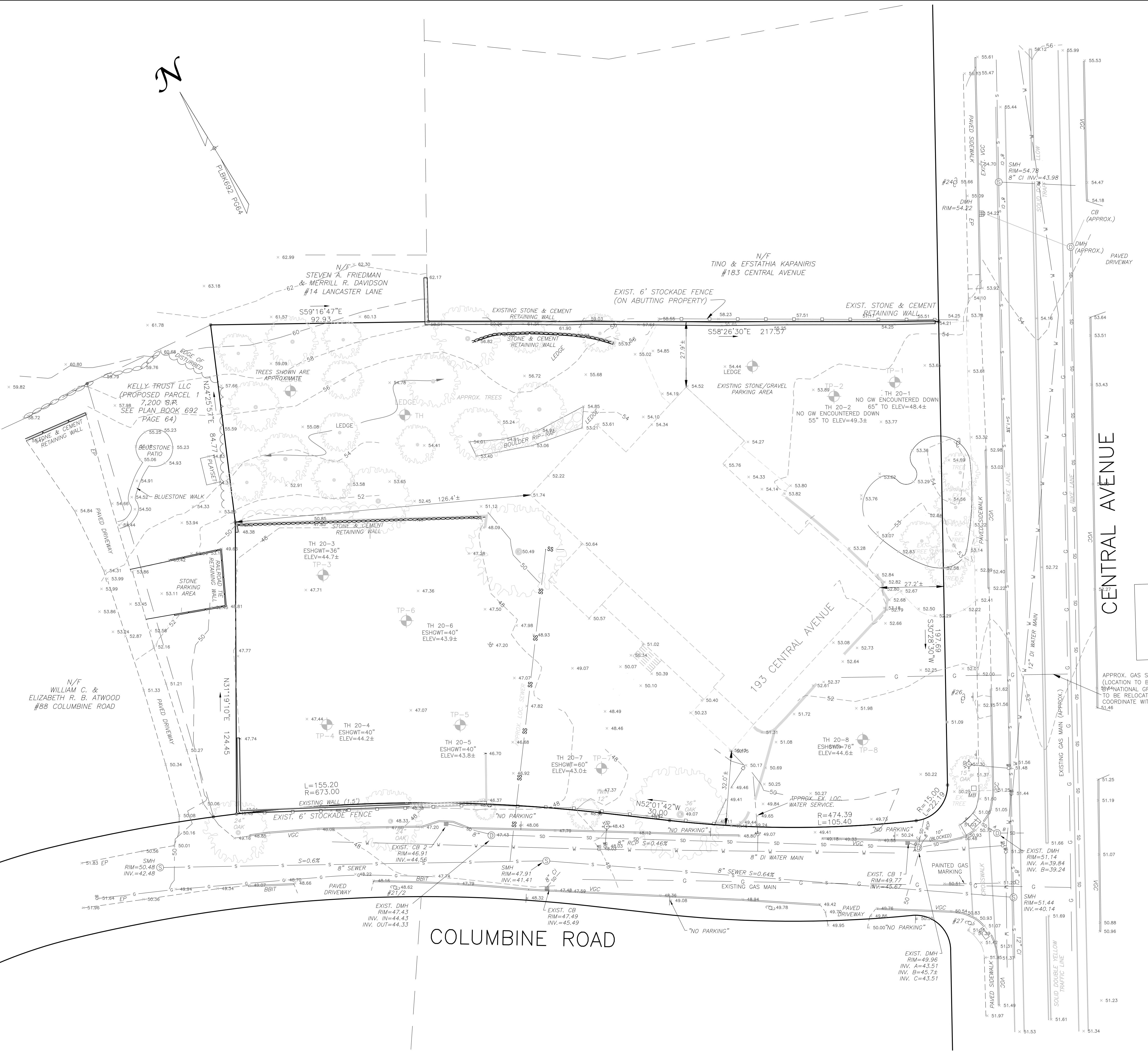
LOCUS MAP
SCALE: 1"=200'

LEGEND OF ABBREVIATIONS & SYMBOLS

EXISTING CONTOUR	— — — — —
EXISTING SPOT ELEVATION	— — — — —
EXIST. BITUMINOUS BERM	BBIT
EXIST. FENCE	W W W
APPROXIMATE WATER	S S
APPROXIMATE SEWER	SS SS
APPROX. SEWER SERVICE	SD SD
APPROX. STORM DRAIN	G G G
APPROXIMATE GAS	E E E
APPROXIMATE ELECTRIC	OHW OHW OHW
EXIST. SEWER MANHOLE	⑤
EXIST. DRAIN MANHOLE	⑥
EXIST. CATCH BASIN	⑦
EXIST. HYDRANT	⑧
EXIST. WATER GATE	⑨
EXIST. GAS GATE	⑩
BENCH MARK	BM#4
EXIST. BOLLARD	●
LIGHT	●
TRAFFIC FLOW	↑ ↓
SIGN	●
TEST PIT	●
WALL	— — — — —
UTILITY POLE	— — — — —
PROPOSED CONTOUR	— — — — —
PROPOSED SPOT ELEVATION	— — — — —

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12. SITE WORK TO COMPLY TO ADA STANDARDS.
13. SEE DEMOLITION PLAN PRIOR TO CONSTRUCTION.
14. SEE PLANNING BOARD DECISION PRIOR TO CONSTRUCTION.
15. SEE STORMWATER PERMIT PRIOR TO CONSTRUCTION.
16. NEW BENCHMARKS ARE TO BE SET.



W & S WILLIAMS SPARAGES
181 NORTH MAIN STREET
CANTERBURY, NH 03224
MIDDLETON, MA 01849
PHONE: (603) 434-8208
FAX: (978) 439-8200
WSGNEERS.COM

Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
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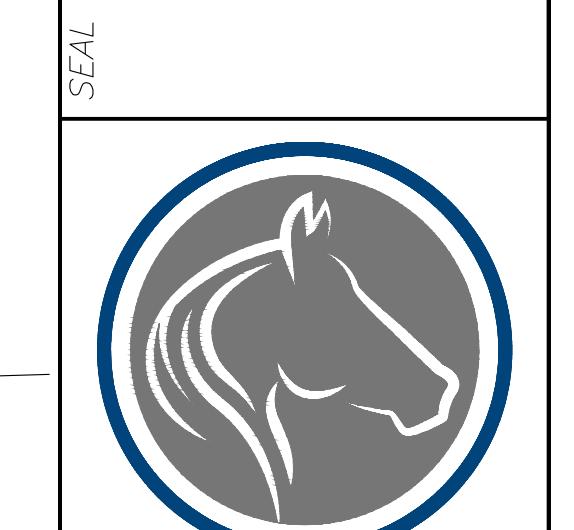
DATE: SEPTEMBER 7, 2021

DATE: REVISIONS

10/19/2021 PB COMMENTS 10/14/2021

11/3/2021 PB COMMENTS 10/28/2021

0' 10' 20' 40'
SCALE: 1"=20'



EXISTING CONDITIONS PLAN
NEW GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

EXISTING CONDITIONS
(2 of 13)

C1.0

ZONING DISTRICT: RESIDENCE B

	REQUIRED/ALLOWED	PROVIDED/PROPOSED
MINIMUM LOT AREA	20,000 s.f.	63,780 s.f.
MINIMUM LOT FRONTAGE	100 ft	197.76 ft.
MINIMUM FRONT SETBACK	25 ft.	90.3 ft.
MINIMUM SIDE SETBACK	35 ft.	41.5 ft.
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MAXIMUM BUILDING HEIGHT	35 ft.	33.25 ft.
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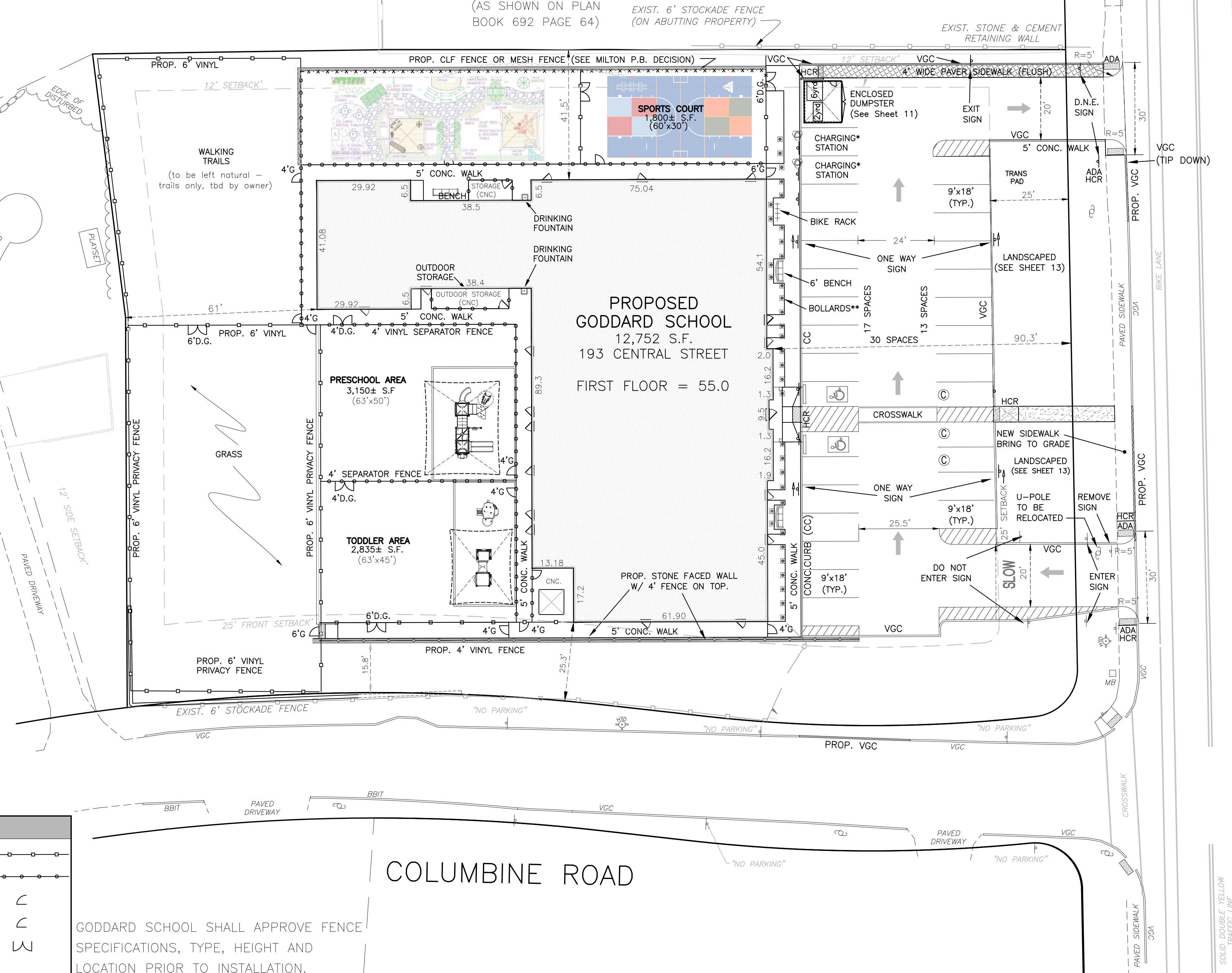
PARKING REQUIREMENTS

THE MILTON ZONING BYLAWS – SECTION VII. PARKING REGULATIONS

CATEGORY	REQUIRED	PROVIDED
SECT. VII. PARKING REGS. EDUCATIONAL PURPOSES	2 SPACES FOR EVERY THREE CLASSROOMS 14 ROOMS/3 x 2 = 9.3	30 SPACES (3 COMPACT SPACE (8'x16' MIN. - 7 ALLOWED))
HANDICAP	2 SPACES	2 SPACES

SECTION VII. PARKING REGULATIONS
G. IN RESIDENCE AA, A, B OR C DISTRICT, ANY PARKING AREA FOR MORE THAN 5 AUTOMOBILES MUST BE PARKED FROM ANY STREET OR FRONT LOT LINE AT LEAST THE SAME DISTANCE AS A BUILDING IN SUCH DISTRICT MUST BE SET BACK FROM SUCH A STREET PURSUANT TO THE PROVISIONS IN PARAGRAPHS 1, 2 OR 3 OF SECTION VI.

LOT A&B
63,780 S.F.
(AS SHOWN ON PLAN
BOOK 692 PAGE 64)



GODDARD SCHOOL GENERAL SITE NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION'S "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS APPLICABLE.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OR OUTSIDE FACE OF BRICK, BLOCK OR BUILDING FASCIA UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- WHERE APPLICABLE ALL DISTURBED AREAS SHALL BE SEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ABUTS THOSE AREAS.
- CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED.
- CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE STATES DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
- CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PLAYGROUND BOXES. PAVEMENT EDGES WITH GRANULAR BACKFILL.
- CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC DISABLED PARKING SIZES, STRIPPING AND SIGNAGE REQUIREMENTS.
- PRIMARY COLORED PLAYGROUND EQUIPMENT WILL BE INSTALLED UNLESS THE LOCAL JURISDICTION, HOA AND COVENANTS AND RESTRICTIONS REQUIRE EARTHSTONE.
- GATES TO BE HARD WIRED, CONNECTED TO SEPARATE ALARM SYSTEM. CHIME BACK AT OFFICE WHEN OPENED. PUSH BARS TO HAVE MINIMUM 12" DEPTH 16 GAUGE EXPANDED METAL BACKING ALONG WIDTH OF GATE WITH LOCKABLE HANDLES ON EXTERIOR.
- G.C. SHALL INSTALL GS1'S STANDARD 'COMING SOON' TEMPORARY SIGN PER AHJ STANDARDS RE:02/C5.2. ALL SIGNS TO BE APPROVED SEPARATELY.
- G.C. TO PROVIDE QTY. 3 MIN. SELF CLOSING HINGE SETS TO ALL EXTERIOR GATES, DUE TO 4 FT WIDTH AND TO PREVENT POSSIBLE SAGGING.
- G.C. TO INSTALL & LOCATE CLEAN OUTS PER PLUMBING PLANS AND SPECIFICATIONS.
- ALL BOLLARDS ARE TO BE 48" GAP BETWEEN EACH BOLLARD OR 54" ON CENTER – REFER TO SHEET C5.2.
- BUILDING SIGNS TO BE APPROVED BY ZONING OFFICER PRIOR TO BEING ERECTED.
- TRAFFIC GUARD BOLLARDS ARE TO BE USED, NO SUBSTITUTIONS UNLESS APPROVED BY GODDARD SCHOOL. SEE SPEC. 32 39 13 MANUFACTURED BOLLARDS (SEE DETAIL).
- PROPOSED FENCE(S) TO BE APPROVED BY ENGINEER & GODDARD SCHOOL PRIOR TO INSTALLATION.
- VERIFY UNDERGROUND UTILITIES PRIOR TO INSTALLING BOLLARDS & PLAYGROUND EQUIPMENT.
- PARCEL 1 NOT TO BE CONSIDERED A SEPARATE BUILDING LOT, BUT TO BE HELD IN COMMON OWNERSHIP WITH ADJOINING LAND.
- BOLLARDS TO BE 4.5" ON CENTER.
- VERIFY DUMPSTERS SIZES & NUMBERS WITH OWNER PRIOR TO CONSTRUCTION.
- CONCRETE CURB TO BE USED AT SIDEWALK. BIT. CURB TO BE USED ELSEWHERE.
- GODDARD SIGNS TO BE APPROVED SEPARATELY.
- COMPACT SPACES & CHARGING STATIONS TO HAVE DESIGNATED SIGNS.
- EXISTING CONTOUR
EXISTING SPOT ELEVATION
EXIST. BITUMINOUS BERM
EXIST. FENCE
APPROXIMATE WATER
APPROXIMATE SEWER
APPROX. SEWER SERVICE
APPROX. STORM DRAIN
APPROXIMATE GAS
APPROXIMATE ELECTRIC
OVERHEAD WIRES
EXIST./PROP SEWER MANHOLE
EXIST./PROP. DRAIN MANHOLE
EXIST. CATCH BASIN
EXIST. HYDRANT
EXIST. WATER GATE
EXIST. GAS GATE
BENCH MARK
LIGHT
TRAFFIC FLOW
SIGN
WALL
UTILITY POLE
PROP. CONTOUR
PROP. SPOT GRADE
DRAINAGE FLOW DIRECTION
DRAIN CLEANOUT
YARD DRAIN
PROPOSED BOLLARD
CHARGING STATION
COMPACT SPACE (8'x16')
BENCH (TBD BY OWNER)
PROPOSED DRAIN

SITE PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

**SITE PLAN
(3 of 13)**

C1.1

WILLIAMS SPARAGES
181 NORTH MAIN STREET
MIDDLETON, MA 01849
PHONE: (508) 439-8200
FAX: (508) 439-8200
WSGNEERS.COM

Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

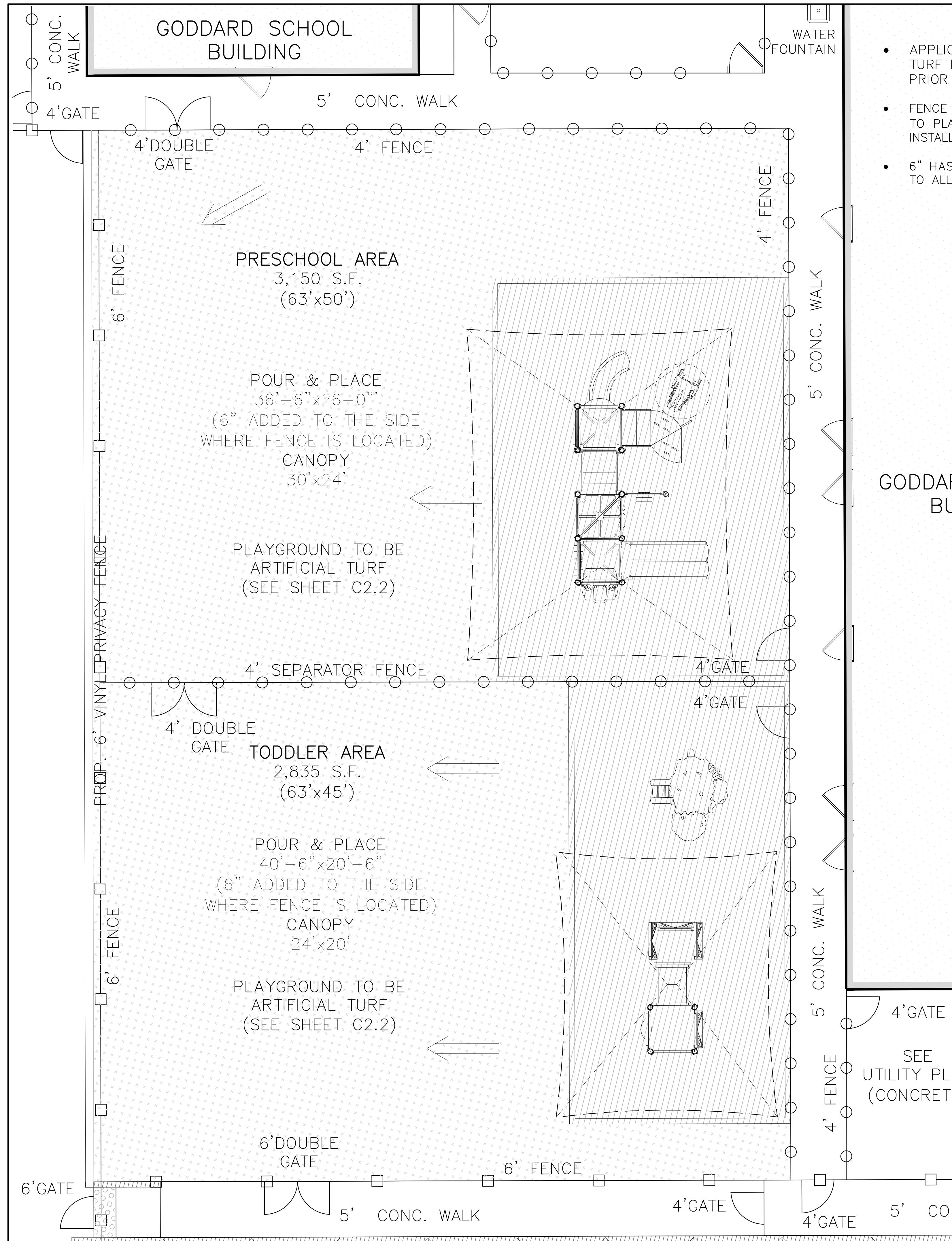
Designed By: JST
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Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

DRAWING ISSUED FOR REVIEW ONLY
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DATE: SEPTEMBER 7, 2021
REVISIONS
10/19/2021 PB COMMENTS
10/14/2021
11/3/2021 PB COMMENTS
10/28/2021

0' 10' 20' 40'
SCALE: 1"=20'





- APPLICANT/OWNER TO SUBMIT ARTIFICIAL TURF DESIGN FOR APPROVAL BY GODDARD PRIOR TO INSTALLATION.
- FENCE POSTS NEED TO BE INSTALLED PRIOR TO PLAYGROUND PAD (POURED IN PLACE) INSTALLATION.
- 6" HAS BEEN ADDED TO EACH POUR IN PLACE TO ALLOW FOR PROPER FENCE INSTALLATION.

GODDARD SCHOOL BUILDING

GODDARD SCHOOL
BUILDING

PLAYGROUND RESPONSIBILITIES DEVELOPER / GENERAL CONTRACTORS

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS IF REQUIRED. APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES.
3. ELECTRIC AND WATER ARE NEEDED ON SITE, FOR THE PLAYGROUND INSTALLERS USE. IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPACTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SOIL.
5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL 2/C3.1)
7. SUB-GRADE BACKFILL MUST BE COMPACTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
8. INSTALL DRAINAGE SYSTEM TO EXCAVATED PLAYGROUND BOXES PER SITE PLAN. (DTL 13/C3.1)
9. ENSURE ADEQUATE AREA FOR PLAYGROUND INSTALLERS. STAGING AREA NEEDED TO UNLOAD AND PRE-ASSEMBLE APPROX. 1,000 CUBIC FOOT SHIPMENT OF PLAYGROUND EQUIPMENT. HOLDING AREA NEEDED TO RECEIVE DELIVERY OF APPROXIMATELY 40-50 TONS OF CRUSHED STONE. PARKING AREA NEEDED FOR TWO TRUCKS AND ONE 30' TRAILER OF EXCAVATING EQUIPMENT.
10. IF FENCING IS INSTALLED, LEAVE OUT NECESSARY SECTIONS TO PROVIDE ACCESS TO PLAYGROUND AREA.
11. ONCE COMPACTED CRUSH STONE BASE, BORDER, AND EQUIPMENT ARE IN PLACE, THEY SHOULD NOT BE DRIVEN OR WALKED ON AND SHOULD NOT BE USED FOR STORAGE AREA.
12. PLAYGROUND INSTALLATION DESCRIBED ABOVE SHOULD TAKE APPROXIMATELY ONE TO FIVE DAYS, DEPENDING ON SITE CONDITIONS, WEATHER, INSTALLER CREW SIZE, ETC.
13. INSTALLATION OF POUR-IN-PLACE SURFACING USUALLY TAKES PLACE ONE TO TWO WEEKS AFTER PLAYGROUND IS INSTALLED, DEPENDING MAINLY ON WEATHER CONDITIONS.
14. GENERALLY ONLY THREE OR FOUR PARKING SPACES ARE NEEDED FOR SURFACING INSTALLERS. (ONE OR TWO VEHICLES AND A MIXER STAGING AREA)
15. TYPICALLY, TWO MEN MIX THE SURFACING PRODUCT IN THE PARKING LOT AND TRANSPORT BY WHEELBARROW TO PLAYGROUNDS WHERE IT IS POURED AND TROWELED. THEREFORE, NO SPECIAL ALLOWANCES ARE NECESSARY (FENCING CAN BE INSTALLED AND FINISH LANDSCAPING CAN BE COMPLETED)
16. THIS IS USUALLY A TWO-DAY INSTALLATION, DEPENDING MAINLY ON WEATHER CONDITIONS. IMPACT COURSE APPLIED ON DAY ONE, AND TOPCOAT (COLOR) APPLIED ON DAY TWO.
17. ONCE THE TOPCOAT APPLICATION IS COMPLETE, THE BINDING AGENTS WILL TAKE A MINIMUM 24 HOURS TO CURE. DURING THAT TIME THERE IS TO BE ABSOLUTELY NO WALKING, PLACING OBJECTS ON, OR ALLOWING ANY DUST TO ACCUMULATE ON THE TOPCOAT SURFACE.
18. FINISH GRADING AND LANDSCAPING MUST BE THE SAME ELEVATION AT THE PLAYGROUND BORDERS.
19. ENSURE THAT THE SITE IS SECURE AND THAT OTHER CONTRACTORS WILL NOT BE STORING, WORKING, WALKING, ETC. ON FINISHED PLAYGROUNDS, SURFACES OR BORDERS.

GENERAL NOTES:
DEVELOPER/GENERAL CONTRACTOR SHOULD BE IN CONSTANT COMMUNICATION WITH GSI TO SCHEDULE DELIVERY AND INSTALLATION OF THE PLAYGROUND STRUCTURES. PLAYGROUND INSTALLERS TRAVEL LONG DISTANCES AND IT IS IMPERATIVE THE SITE IS PROPERLY PREPARED AS SPECIFIED TO AVOID COSTLY MOBILIZATION, SHIPPING AND STORAGE FEES.

GSI'S PLAYGROUND INSTALLERS TRAVEL GREAT DISTANCES, INCURRING EXPENSES FOR BOTH TRANSPORTATION AND LODGING. IN ADDITION THEY ARE REQUIRED TO RESERVE RENTAL MACHINERY. IF THEY ARE TURNED AWAY BECAUSE THE SITE IS NOT READY, A TRAVEL CHARGE WILL APPLY. THIS CHARGE COULD BE SIGNIFICANT (\$50.00 PER MAN-HOUR FOR A CREW OF FIVE, LODGING AT \$175 PER ROOM PER NIGHT, AND EQUIPMENT RENTAL DEPOSITS). THEREFORE, FOLLOWING ALL OF THE ABOVE GUIDELINES, ESPECIALLY WITH RESPECT TO DISCLOSING EXCESSIVELY ROCKY CONDITIONS, PROHIBITING THE USE OF LARGE ROCKS, CEMENT, ETC. IN BACKFILL MATERIALS, AND PROVIDING THE PROJECT MANAGER AN ACCURATE TIMELINE, WILL SAVE BOTH MONEY AND TIME.

FENCE LEGEND

- 6' VINYL PERIMETER FENCE (6'PF)
- 4' VINYL SEPARATOR FENCE (4'SF)
- 4' VINYL SECURITY GATE (4'G)
- 6' VINYL SECURITY GATE (6'G)
- 4' & 6' DOUBLE GATE (4'DG,6'DG)
- 4' SAFETY FENCE – TBD BY OWNER (FENCE TO BE DECORATIVE SAFETY FENCE AND APPROVED BY MILTON PB)

PLAYGROUND DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

PLAYGROUND
DETAILS
(4 of 13)

C1.2

W & S WILLIAMS SPARAGES
181 NORTH MAIN STREET
MIDDLETON, MA 01849
PHONE: (508) 439-8208
FAX: (508) 439-8200
WS@WILLSPARAGES.COM

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North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
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Job File Number: MILT-0018A
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REVISIONS
10/19/2021 PB COMMENTS
10/14/2021
11/3/2021 PB COMMENTS
10/28/2021

0' 5' 10'
SCALE: 1"=5'



C1.2

**PLAYGROUND RESPONSIBILITIES
DEVELOPER / GENERAL CONTRACTORS**

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS IF REQUIRED. APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES
3. ELECTRIC AND WATER ARE NEEDED ON SITE, FOR THE PLAYGROUND INSTALLERS USE. IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPAKTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SUITABLE SOIL.
5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL. 2/C3.1)
7. SUB-GRADE BACKFILL MUST BE COMPAKTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
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21 Coach Road
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Mobile: 508-736-1200
sunnyverma@hotmail.com

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Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
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NOT TO SCALE

SEAL



**PLAYGROUND DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS**

**PLAYGROUND DETAILS
(5 of 13)**

C1.3

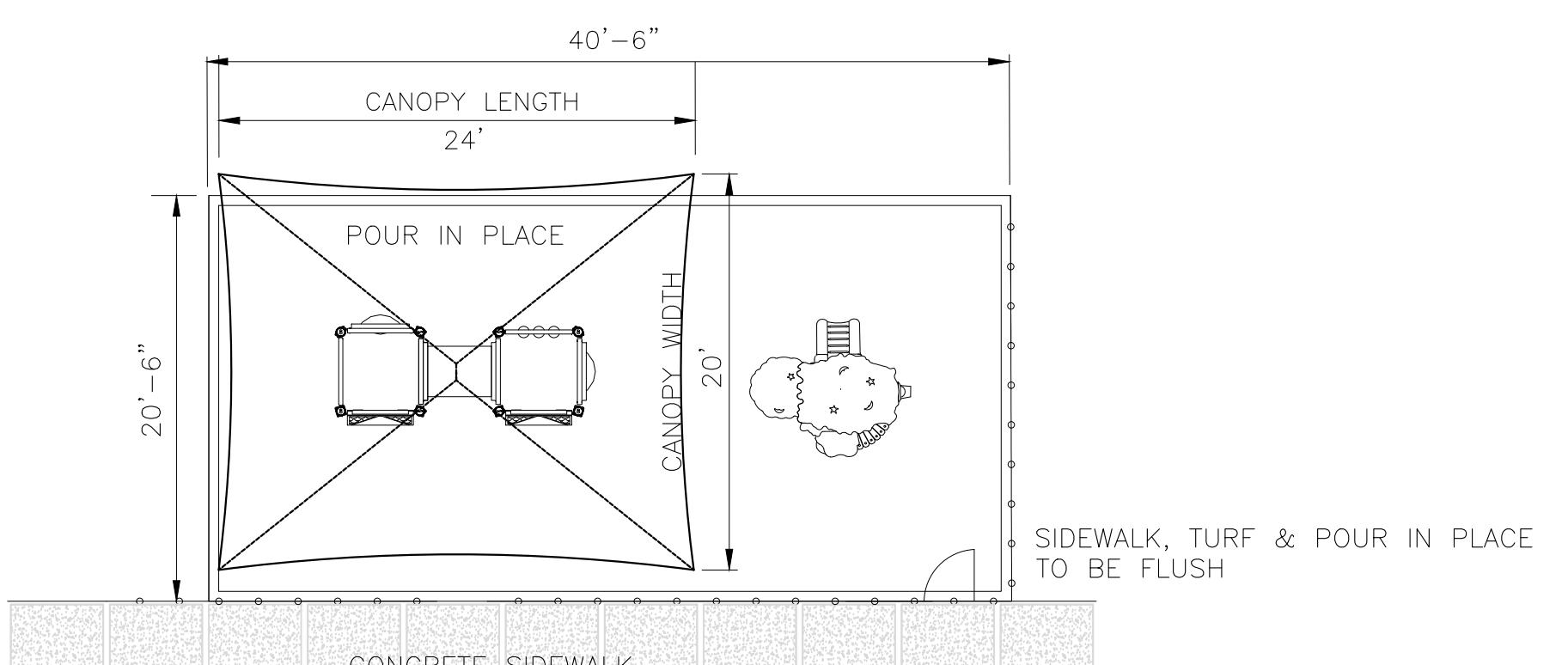
POUR & PLACE

40'-6" x 20'-6"

(6" ADDED TO THE SIDE
WHERE FENCE IS LOCATED)

CANOPY

24' x 20'



INFANT/TODDLER PLAY STRUCTURE

NOT TO SCALE



11 TODDLER PLAYGROUND RENDERING

TODDLER PLAYGROUND RENDERING

NTS

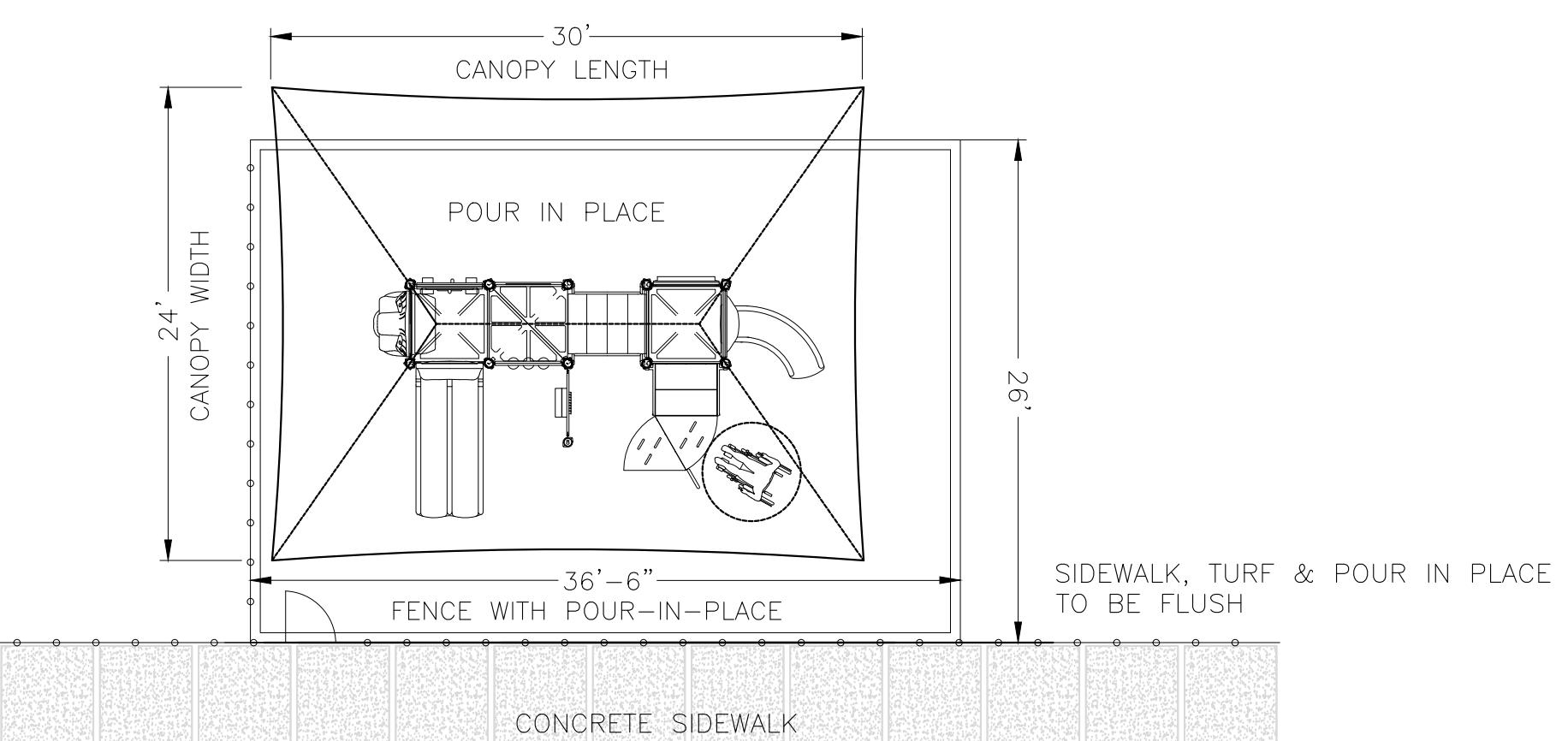
POUR & PLACE

36'-6" x 26'

(6" ADDED TO THE SIDE
WHERE FENCE IS LOCATED)

CANOPY

30' x 24'



PRESCHOOL PLAY STRUCTURE

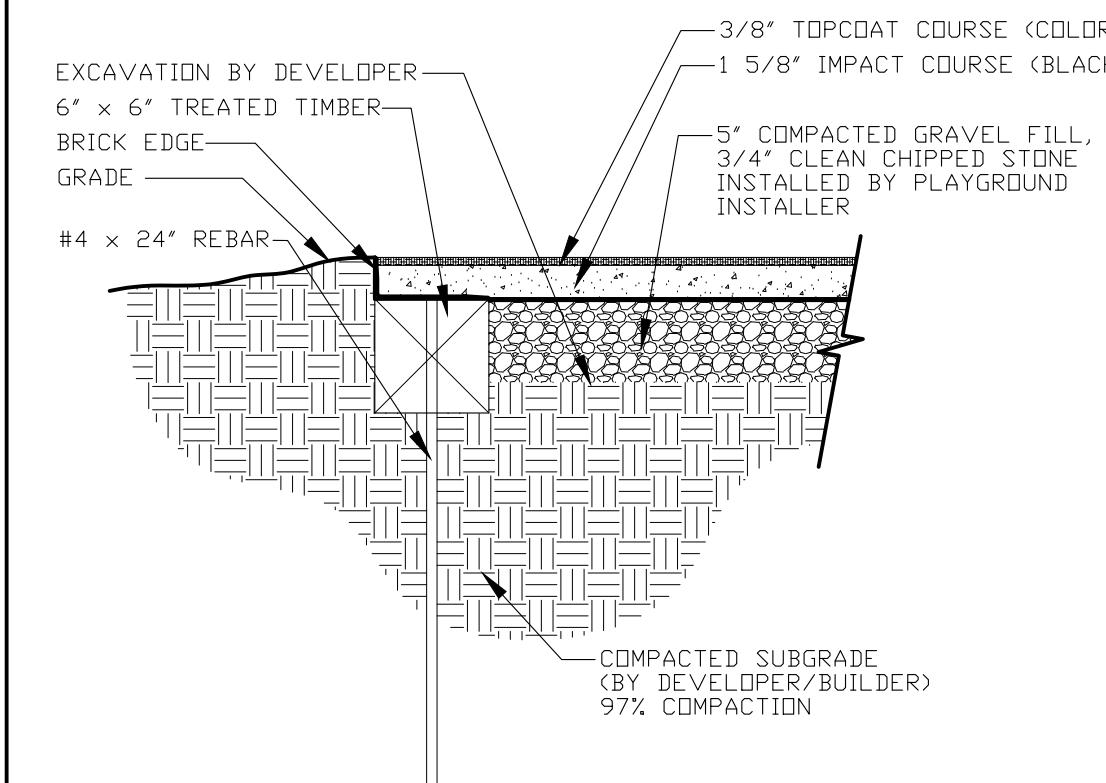
NOT TO SCALE



12 PRESCHOOL PLAYGROUND RENDERING

PRESCHOOL PLAYGROUND RENDERING

NTS



POUR-IN-PLACE PLAY SURFACING

NTS



GRADING PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

GRADING PLAN
(6 of 13)

C2.1



Owner/Applicant:
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sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: PMB
Project Manager: JST
Job File Number: MILT-0018A
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DATE: SEPTEMBER 7, 2021

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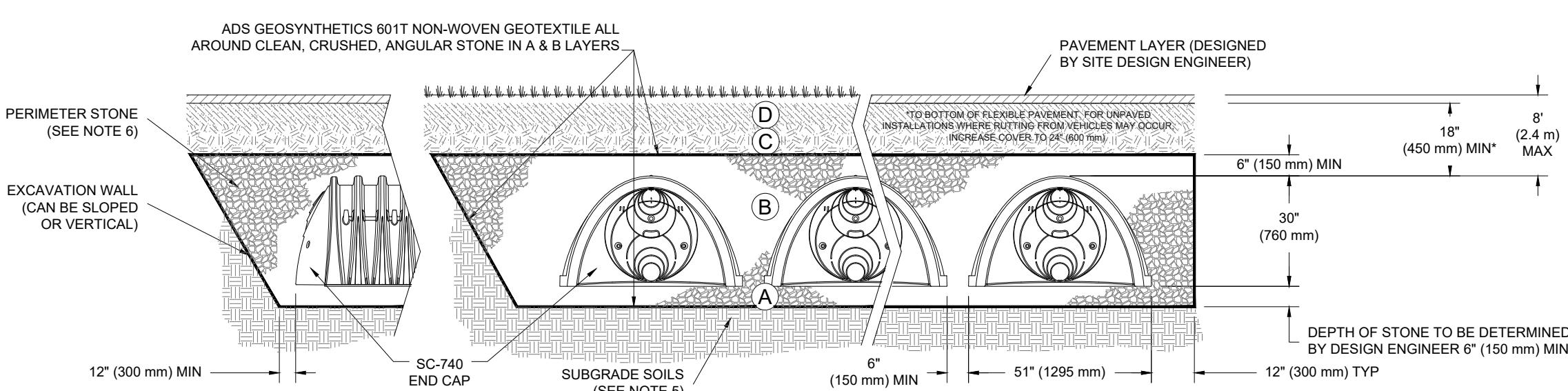
11/3/2021 PB COMMENTS 10/28/2021



ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 6, 67, 68, 7, 78, 8, 89, 9, 10 BEGIN COMPACTION AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LAYER THICKNESS. DENSITY REQUIREMENT FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 3/4-2 INCH (20-50 mm)	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57 PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

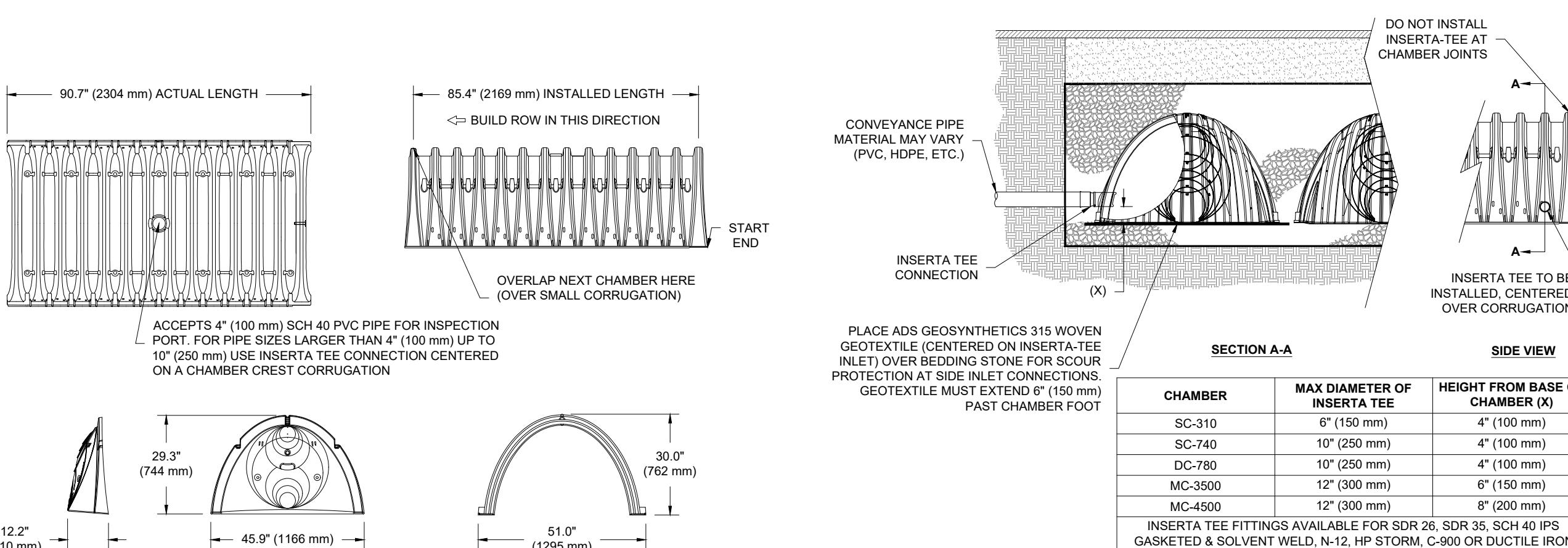
PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) LAYER USING TWO FULL COVERAGE WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL.
4. THE SITE DESIGN ENGINEER REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH RESPECT TO THE RANGE OF ALLOWABLE BEARING RESISTANCE.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 CROSS SECTION (NOT TO SCALE)



NOMINAL CHAMBER SPECIFICATIONS
SIZE (W x H x INSTALLED LENGTH) 51.0" x 30.0" x 85.4" (1295 mm x 762 mm x 2169 mm)
CHAMBER STORAGE 45.9 CUBIC FEET (1.30 m³)
MINIMUM INSTALLED STORAGE 74.9 CUBIC FEET (2.12 m³)
WEIGHT 75.0 lbs (33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	A	B	C
SC740EPE12A / SC740EPE12BPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EPE16B / SC740EPE16BPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740EPE08T / SC740EPE08TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	...
SC740EPE10T / SC740EPE10TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	0.7" (18 mm)
SC740EPE12T / SC740EPE12TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.2" (30 mm)
SC740EPE15B / SC740EPE15BPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.3" (33 mm)
SC740EPE18T / SC740EPE18TPC	24" (600 mm)	18.5" (470 mm)	1.0" (25 mm)	1.6" (41 mm)
SC740EPE24B				0.1" (3 mm)

ALL STUBS EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS 18" (450 mm) BELOW THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2994.

* FOR THE SC740EPE24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

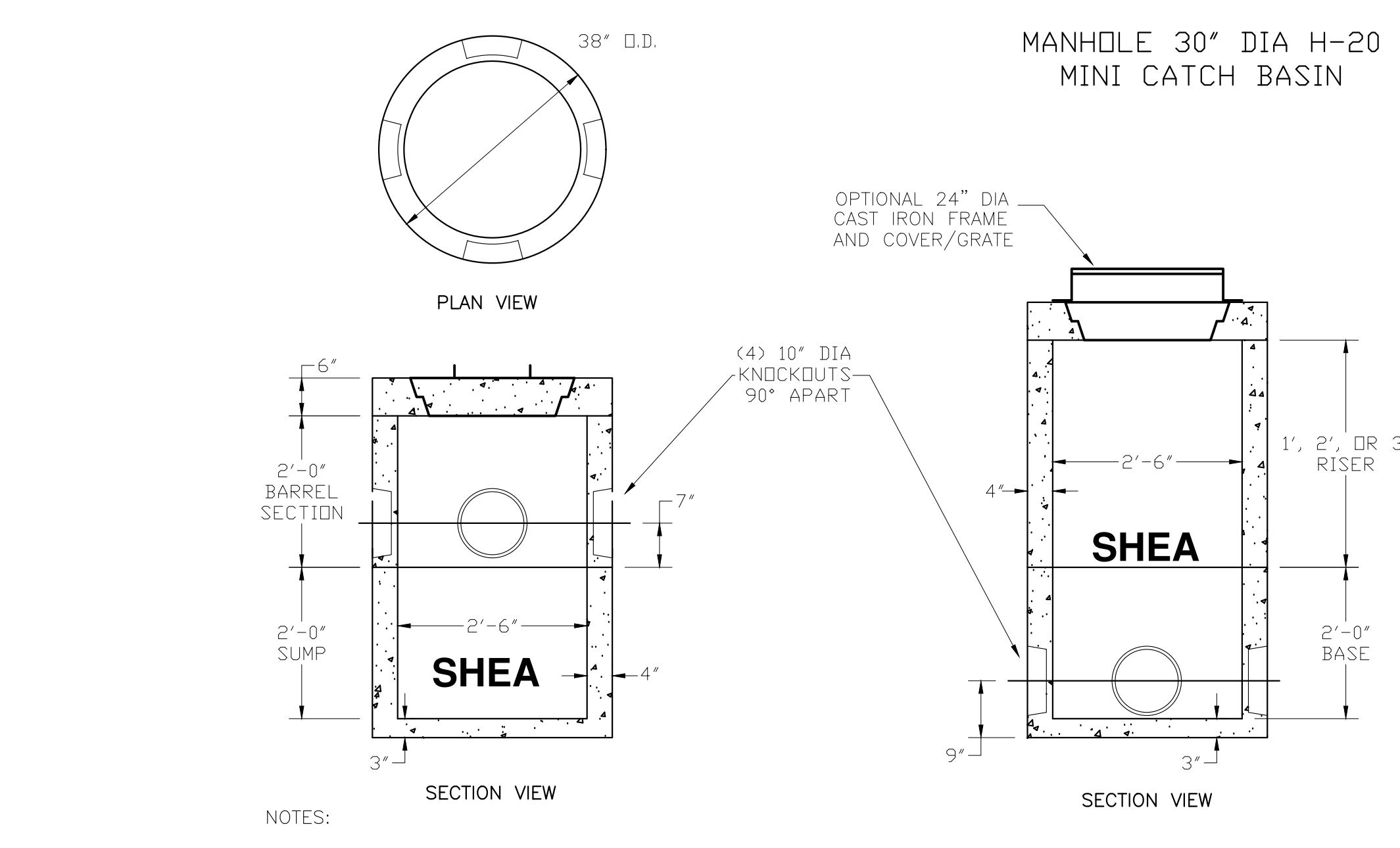
NOTE: ALL DIMENSIONS ARE NOMINAL

STORMTECH SC-740 TECHNICAL SPECIFICATIONS (NOT TO SCALE)

MODEL SHOWN MAY BE SUBSTITUTED WITH A SUITABLE EQUIVALENT

INSPECTION PORT (NOT TO SCALE)

NOTES:
1. INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION VALLEY
2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.



SECTIONS	ITEM NO	WEIGHT
1' - 0" RISER	MC-MCB12R	440#
2' - 0" RISER	MC-MCB24R	880#
3' - 0" RISER	MC-MCB36R	1320#
2' - 0" BASE	MC-MCB45H	1175#
2' - 0" BARREL	MC-MCB45H	880#
38" COVER	MC-MCB38CH	585#



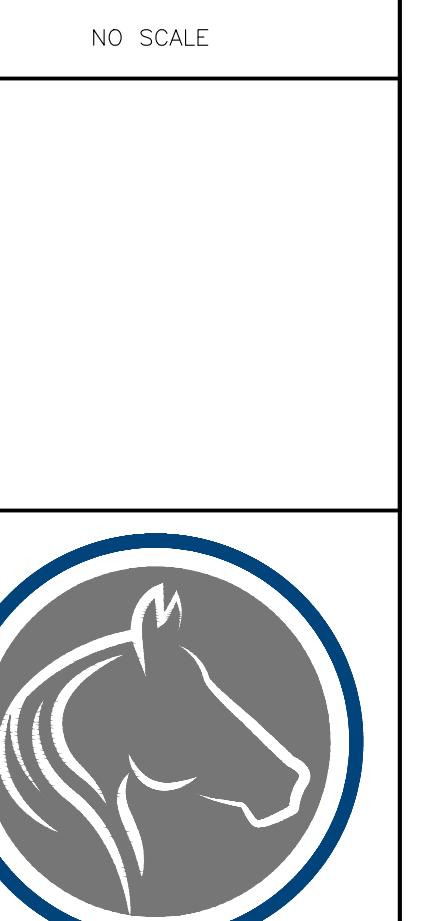
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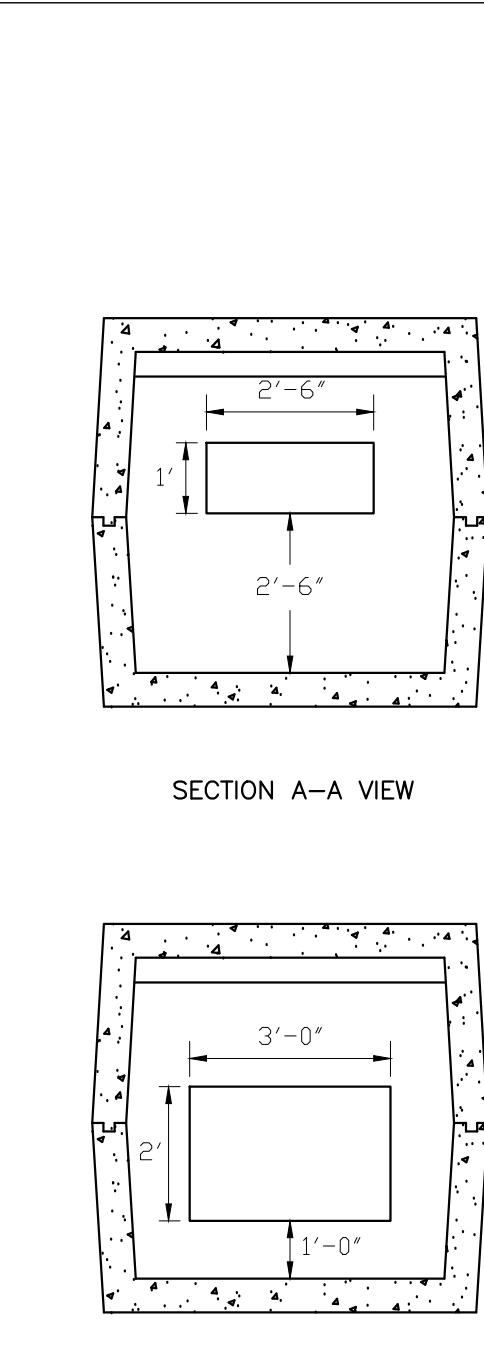
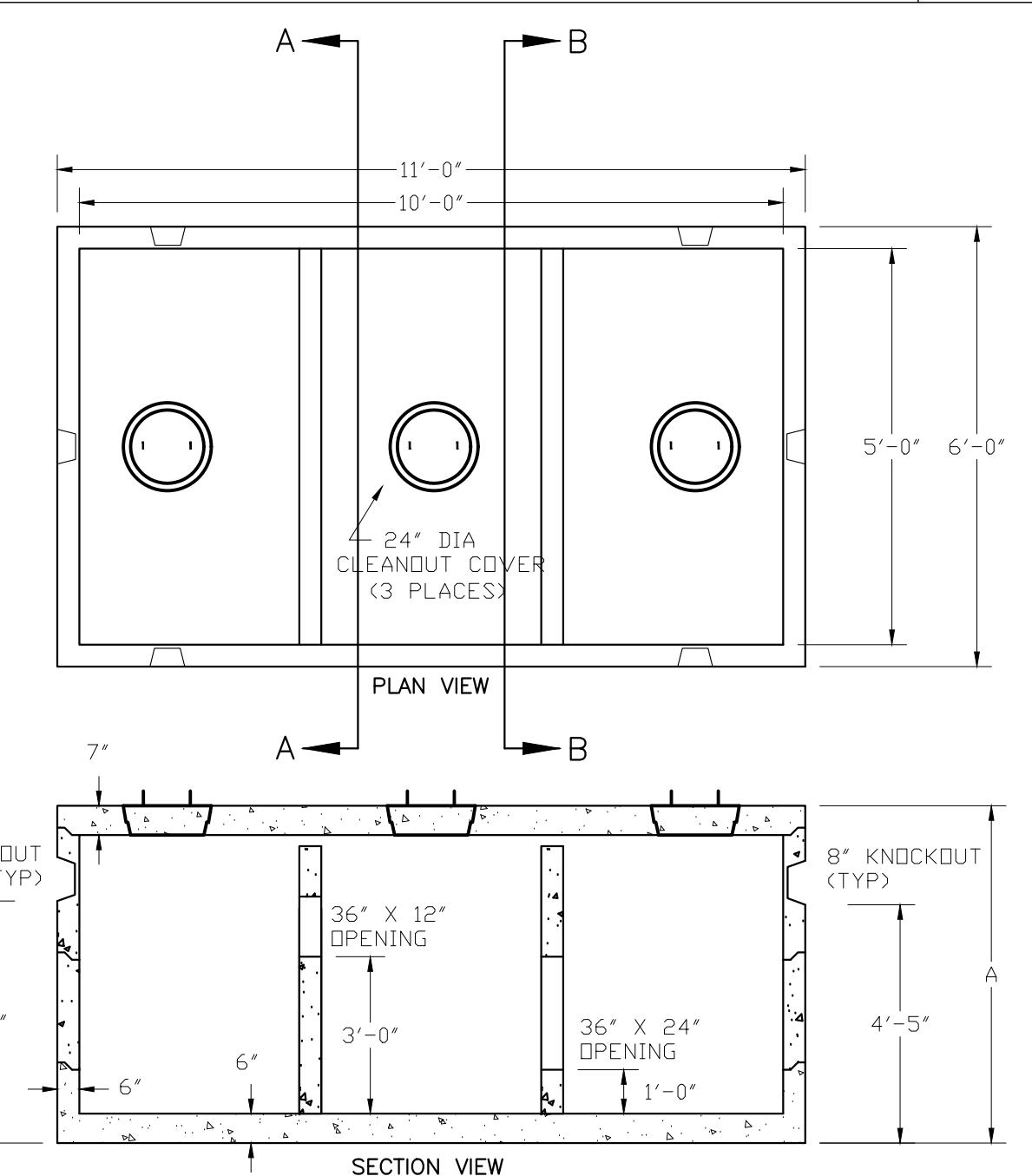
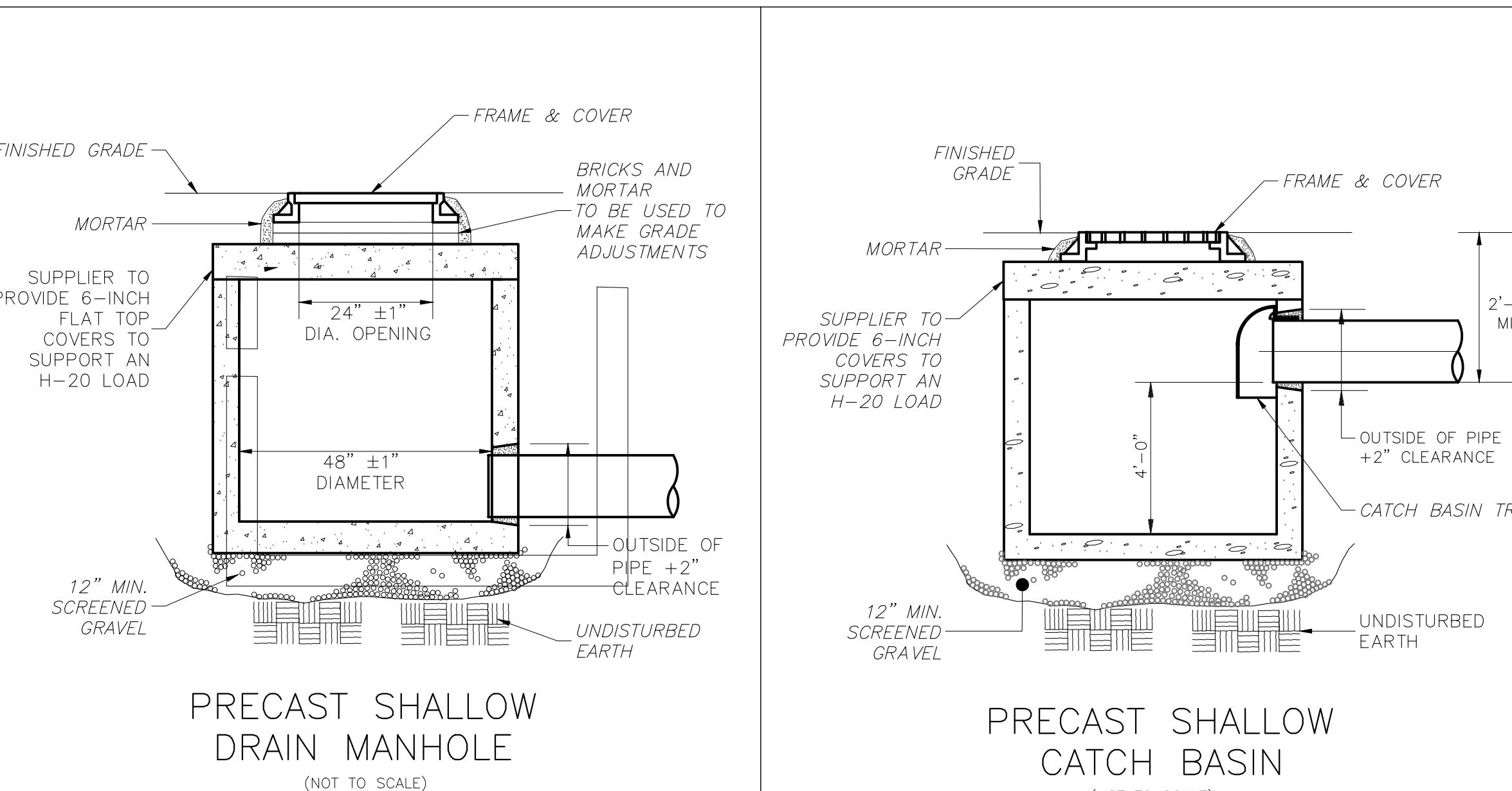
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DATE 10/19/2021 REVISIONS PB COMMENTS 10/14/2021
11/3/2021 PB COMMENTS 10/28/2021



DRAINAGE DETAIL PLAN THE GODDARD SCHOOL 193 CENTRAL AVENUE MILTON, MASSACHUSETTS



NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGNED FOR H-20 LOADING. ALSO AVAILABLE IN H-10 LOADING WITH 3" WALL.
3. TONGUE AND GROOVE JOINT SEALED WITH BUTYL RESIN.

DRAINE DETAIL PLAN (8 of 13)

C2.3



Owner/Applicant:
Verna Holdings LLC
21 Coach Road
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sunnyverma@hotmail.com

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SEAL



PHOTOMETRIC PLAN
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

PHOTOMETRIC
PLAN
(10 of 13)

C4.1

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sunnyverma@hotmail.com

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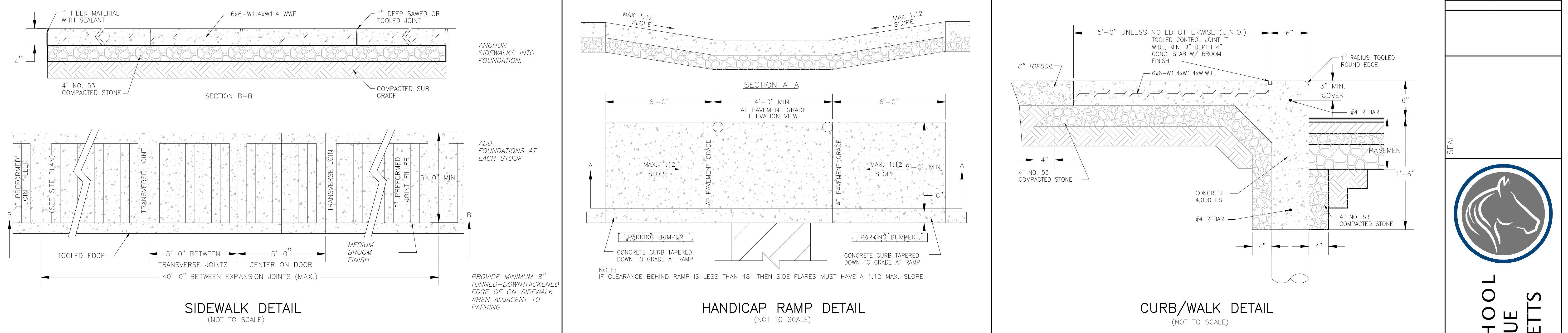
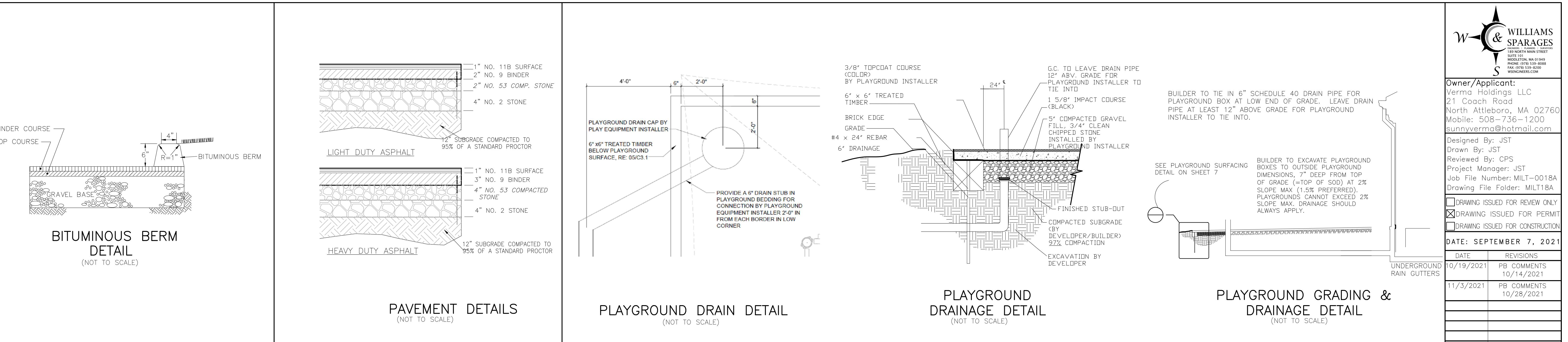
11/3/2021 PB COMMENTS 10/28/2021

UNDERGROUND
RAIN GUTTERS

PLAYGROUND SURFACING
SEE PLAYGROUND SURFACING
DETAIL ON SHEET 7

BUILDER TO EXCAVATE PLAYGROUND
BOXES TO OUTSIDE PLAYGROUND
DIMENSIONS, 7" DEEP FROM TOP
OF GRADE (=TOP OF SOD) AT 2%
SLOPE MAX (1.5% PREFERRED).
PLAYGROUNDS CANNOT EXCEED 2%
SLOPE MAX. DRAINAGE SHOULD
ALWAYS APPLY.

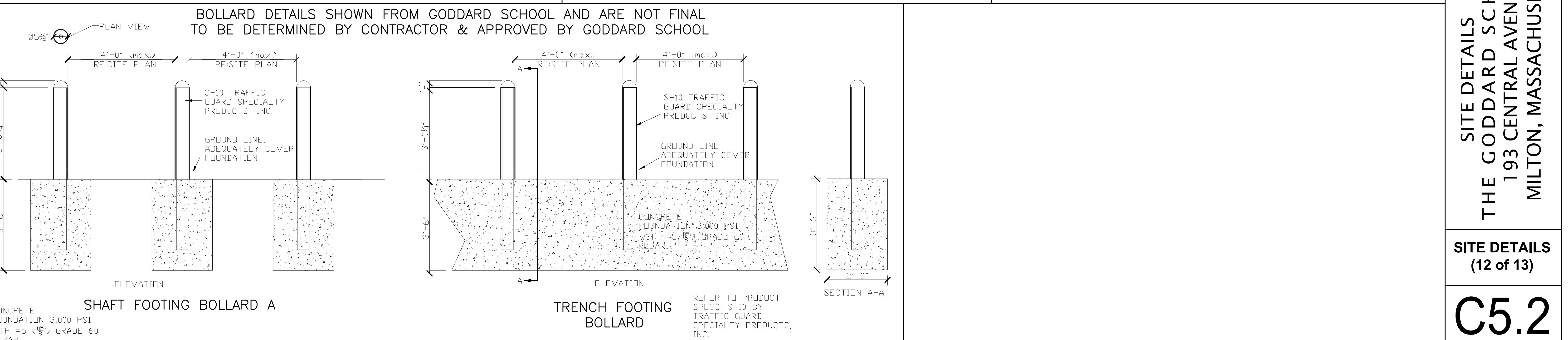
PLAYGROUND GRADING &
DRAINAGE DETAIL
(NOT TO SCALE)

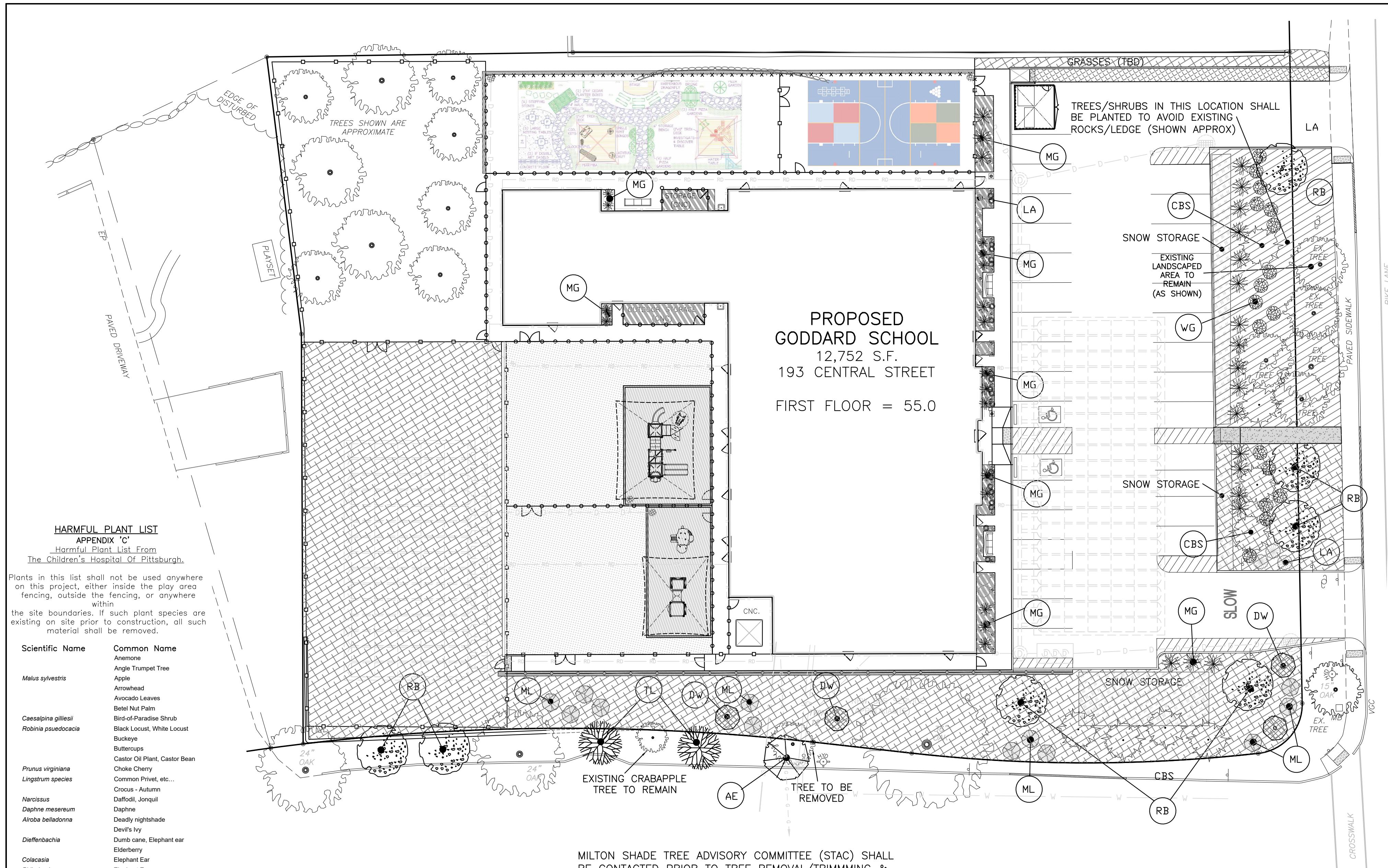


SITE DETAILS
THE GODDARD SCHOOL
193 CENTRAL AVENUE
MILTON, MASSACHUSETTS

SITE DETAILS
(12 of 13)

C5.2





TOWN OF MILTON STREET/SHADE TREE INFORMATION

TREES MUST BE SELECTED ONLY FROM THE ATTACHED LIST PREPARED BY THE MILTON SHADE TREE ADVISORY COMMITTEE. TREES UNDER THIS PROGRAM ARE ONLY PLANTED DURING THE MONTHS OF SEPTEMBER, OCTOBER, NOVEMBER, AND DECEMBER SO LONG AS WEATHER PERMITS.

MILTON STAC RECOMMENDED TREE LIST IS BASED ON THE FOLLOWING CRITERIA:

ABILITY TO SURVIVE IN DIFFICULT URBAN CONDITIONS.

NATIVE SPECIES (TO ATTRACT NATIVE BIRDS AND BUTTERFLIES)

ATTRACTIVE

PROVIDES APPROPRIATE LEVEL OF VISIBILITY FOR WALKERS AND DRIVERS

DECIDUOUS TREES (NO EVERGREENS INCLUDED DUE TO VISIBILITY AND OTHER ISSUES)

AVAILABILITY IN MASSACHUSETTS NURSERIES

SOURCES: ARBOR DAY FOUNDATION, THE LADY BIRD JOHNSON WILDFLOWER CENTER, UMASS URBAN FORESTRY PROGRAM, BOSTON PARKS DEPARTMENT, BROOKLYN BOTANICAL GARDENS, DIRR'S HANDBOOK OF WOODY PLANTS, NYC STREET TREE GUIDE, CORNELL UNIVERSITY HORTICULTURE DEPARTMENT, VARIOUS SHADE TREE COMMITTEES FROM ACROSS MASSACHUSETTS

SNOW STORAGE

LOAM & SEED ALL DISTURBED AREAS. MULCH IN AND AROUND FLOWER & SHRUBS
ANNUAL FLOWERS TO BE DETERMINED
*ADDITIONAL BOXWOOD MAY BE NEEDED TO BLOCK CAR LIGHTS ON
ABUTTING PROPERTIES

LANDSCAPER RESPONSIBILITIES

1. SET ALL EDDING 1" ABOVE FINISH GRADE AS SHOWN.
2. EDDING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
3. ALL JOINTS TO BE SECURELY STAKED.
4. SOIL AMENDMENT FOR SODDED AREAS SHALL BE 4 C.Y. OF COMPOSTED ORGANIC MATTER PER 1,000 S.F. THE TOP 5" SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 12".
5. IN ALL PLANTER BED AREAS THE BACKFILLED SOIL SHALL BE REMOVED TO A DEPTH OF 24" AND REPLACED WITH A MIXTURE OF 1/2 TOPSOIL WITH AMENDMENT AND 1/2 NATIVE SOIL COMPACTED TO 85% STD. DENSITY.
6. IN BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS FOR MULCHING.
7. ALL SHRUB BEDS SHALL RECEIVE WATER-PERMEABLE WEED BARRIER FABRIC. FABRIC SHALL BE 3 OZ. SPUNBONDED POLYPROPYLENE WITH UV INHIBITORS TYPAR #3301 OR APPROVED EQUAL. PERENNIAL AND ORNAMENTAL GRASS AREAS SHALL NOT RECEIVE THE FABRIC.
8. ALL SHRUB BEDS SHALL BE MULCHED WITH 3-4" DEPTH SHREDDED CEDAR - NATURAL COLOR. SUBMIT SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
9. PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1 AND THE STATE NURSERY ACT AND ACCOMPANYING RULES & STANDARDS. ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED.
10. ALL TREES IN SODDED AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3'-4" IN DIAMETER. KEEP MULCH 4-6" AWAY FROM TRUNKS.
11. PLANT SPECIES AND LOCATIONS SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, CONTACT THE LANDSCAPE ARCHITECT AND GSI REPRESENTATIVE FOR CLARIFICATION.
12. ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 3 YEARS AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.
13. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL PERTINENT SITE IMPROVEMENTS ALREADY INSTALLED PRIOR TO BEGINNING WORK. NOTIFY OWNER OF ANY CONFLICTS OR DISCREPANCIES WITH INFORMATION STATED IN THESE PLANS. DO NOT PROCEED WITH CONSTRUCTION IF DISCREPANCIES EXIST WITHOUT OWNER APPROVAL.
14. REFER TO GRADING DRAWINGS FOR TOPO/ELEVATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. PREFERRED) IN ALL LANDSCAPE/TURF AREAS. SURFACES SHALL DRAIN AWAY FROM BUILDING FOUNDATIONS (5% MIN.) AND TO THE STREETS AND ALLEY. NOTIFY OWNER IF ROUGH GRADING CONDITIONS WILL CREATE PONDING ON SITE OR FLOW TOWARD FOUNDATIONS. ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY THE OWNER PRIOR TO SOIL PREPARATION OPERATIONS.
15. PROPOSED TREES IN THE R.O.W. SHALL BE PRE-APPROVED BY THE TOWN ARBOR AND SHALL BE A MINIMUM OF 20' FROM PROPERTY CORNERS AT INTERSECTIONS, 25' FROM STREET LIGHTS AND 10' FROM EDGE OF DRIVEWAYS, OR PER LOCAL CODE REQUIREMENTS.
16. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL FIELD INSTALLATIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD DELIVERIES TO GSI'S REPRESENTATIVE IMMEDIATELY. THE G.C. IS TO CONFIRM ALL QUANTITIES AFTER INSTALLATION. THAT ALL PLANTS AND MATERIALS ARE INSTALLED PER SPECIFICATIONS AND LANDSCAPE PLANS.
17. LANDSCAPE ARCHITECT IS TO COORDINATE/PRODUCE AND SUBMIT IRRIGATION SPRINKLER DRAWINGS FOR REVIEW AND APPROVAL ONCE LANDSCAPE PLAN HAS BEEN REVIEWED AND APPROVED BY ARCHITECT AND GSI REPRESENTATIVE.

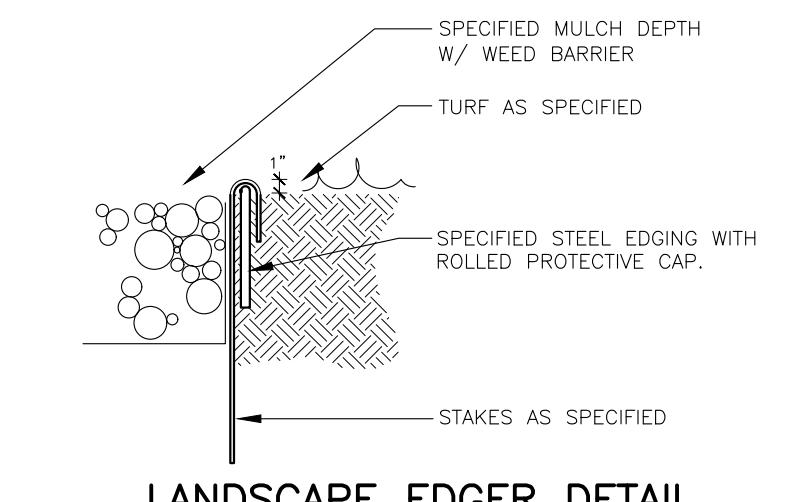
PLANTING LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	NOTES	SYMBOL
TL	2	LIRIODENDRON TULIPIFERA L.	TULIP	2.5-3" CALIPER	
AE	1	ULMUS AMERICANA	AMERICAN ELM (VALLEY FORGE OR PRINCETON ELM)	2.5-3" CALIPER	
RB	7	BETULIA NIGRA	RIVER BIRCH	8'-10' HEIGHT	
DW	4	SALIX INTEGRA 'HAKURO-NISHIKI'	TRI-COLOR DAPPLED WILLOW	#5	
CBS	8	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	8'-10' HEIGHT	
CIB	12	KALMIA LATIFOLIA 'ELF'	MOUNTAIN LAUREL	#5	
MG	AS SHOWN	MISCANthus GRACILLIMUS	MAIDEN GRASS	#5	
LA	AS SHOWN	LAVANDULA ANGUSTIFOLIA	LAVENDER	#5	
WG	AS SHOWN	BUXUS MICROPHYLLA	WINTERGREEN BOXWOOD SHRUB*	#5	
GRASS	AS SHOWN				
MULCH	AS SHOWN				

CONIFEROUS TREE PLANTING
(NOT TO SCALE)

NOTES:
1. SET ALL EDDING 1" ABOVE FINISH GRADE AS SHOWN.
2. EDDING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR, AND FLUSH W/ GRADES OF CONCRETE.
3. ALL JOINTS TO BE SECURELY STAKED.

GODDARD SCHOOL PROTOTYPE DETAIL



Owner/Applicant:
Verma Holdings LLC
21 Coach Road
North Attleboro, MA 02760
Mobile: 508-736-1200
sunnyverma@hotmail.com

Designed By: JST
Drawn By: JST
Reviewed By: CPS
Project Manager: JST
Job File Number: MILT-0018A
Drawing File Folder: MILT18A

DRAWING ISSUED FOR REVIEW ONLY
DRAWING ISSUED FOR PERMIT
DRAWING ISSUED FOR CONSTRUCTION

DATE: SEPTEMBER 7, 2021

DATE 10/19/2021 REVISIONS 10/14/2021

11/3/2021 PB COMMENTS 10/28/2021

#	Date	Comments

Revisions

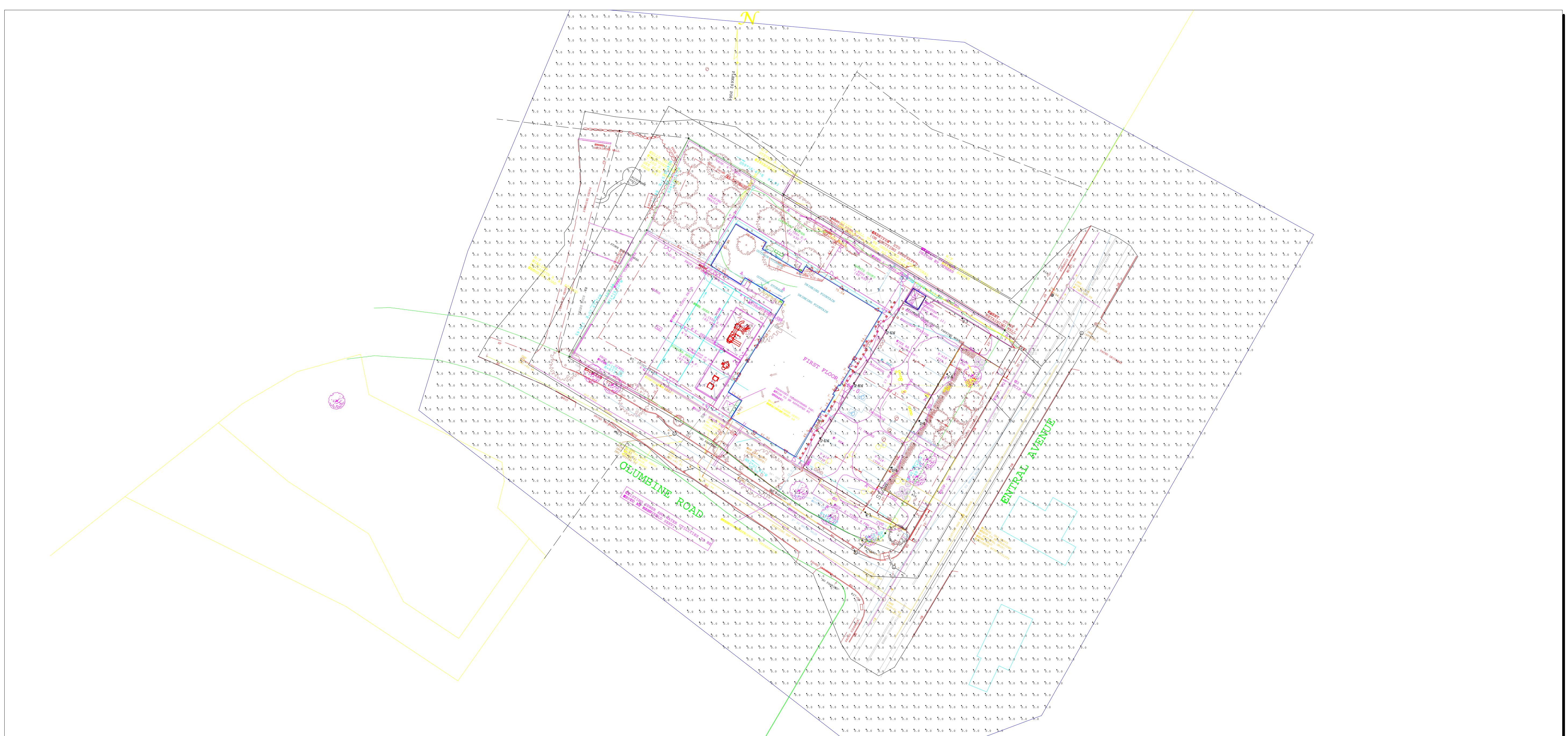
Drawn By:RK	Checked By:	Scale:

Date:10/26/2021

Scale:

Goddard School

Milton


Luminaire Schedule

Scene: JUST POLES

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
-	2	P3	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-3-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
-	3	P4	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
-	3	P4W	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4W-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS

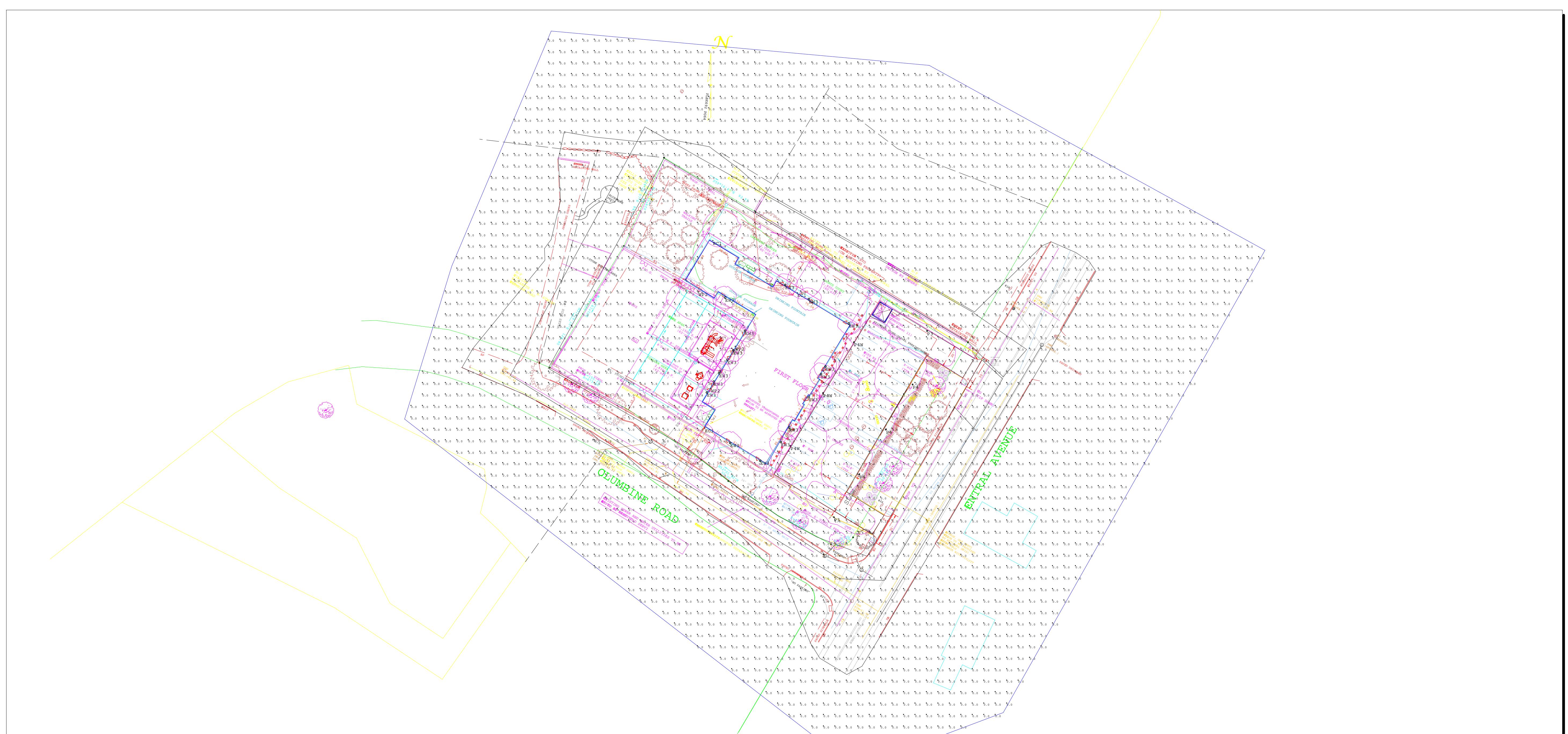
Urban Fixture on 10 foot pole.

Site only depreciated to compare to IESNA criteria.

Calculation Summary

Scene: JUST POLES

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ground_plane_Planar	Illuminance	Fc	0.1	3.5	0.0	N.A.	N.A.
DRIVEWAY AND PARKING	Illuminance	Fc	1.0	3.5	0.0	N.A.	N.A.
Spill beyond property	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.


Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
●	3	EC1	SINGLE	N.A.	1.000	HUBBELL ML-2L3K-1
●	17	EW3	SINGLE	466.23	0.880	MODERN FORMS- WS-W28514
□	2	P3	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-3-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
□	3	P4	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
□	3	P4W	SINGLE	N.A.	0.880	BEACON PRODUCTS URB-MRDS21-24L-27-3K7-UNV-4W-BC PCU-PM /AA-07S4P/RSA-B-S 10 40 OTBLS
□	3	WP2	SINGLE	N.A.	0.880	HUBBELL LNC-5LU-3K-4-X PC

All ON
Fire Alarm condition

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ground_plane_Planar	Illuminance	Fc	0.1	3.5	0.0	N.A.	N.A.
DRIVEWAY AND PARKING	Illuminance	Fc	1.0	3.5	0.0	N.A.	N.A.
Spill beyond property	Illuminance	Fc	0.0	0.3	0.0	N.A.	N.A.

Drawn By:RK	Checked By:	Comments:
Date:10/26/2021		
Scale:		

Goddard School	Milton
Page M of 1	