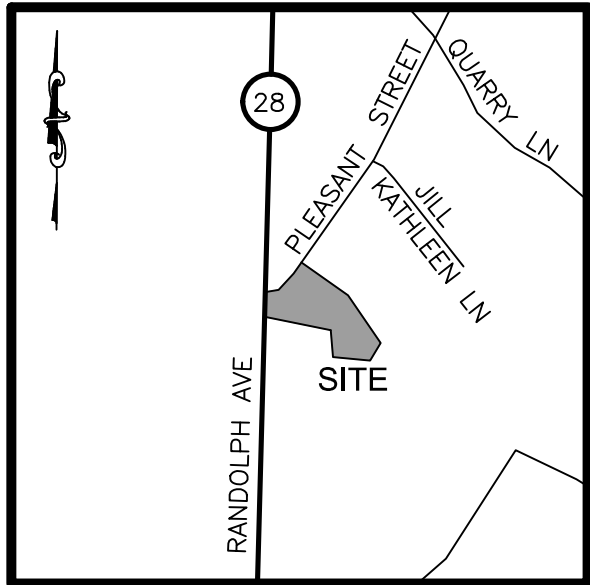




VICINITY MAP
NO SCALE

ABBREVIATIONS

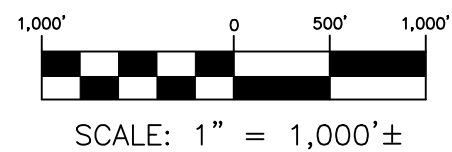
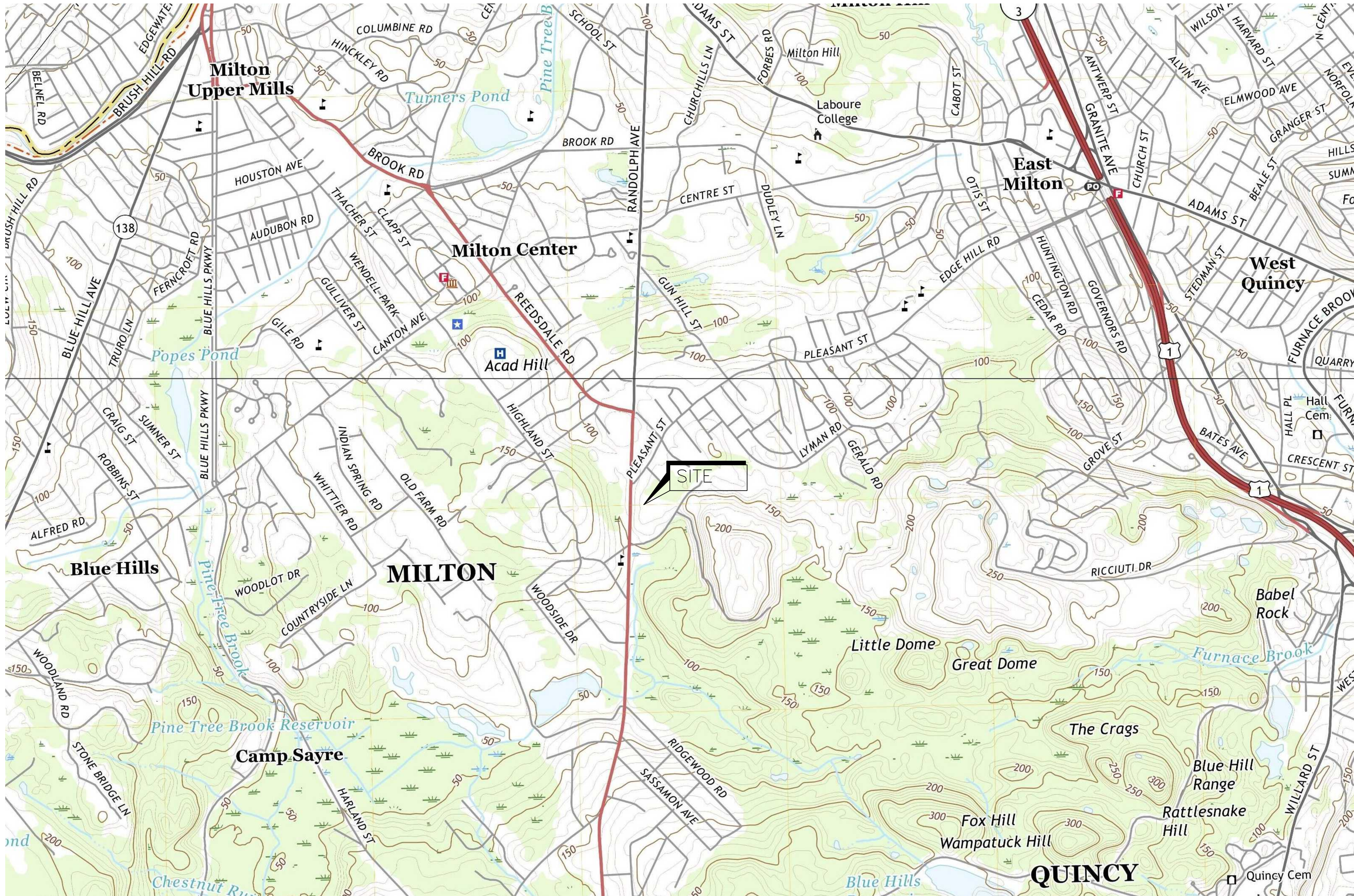
APPROX	APPROXIMATE
BH	BULK HEAD
CB/DH	CONCRETE BOUND/DRILL HOLE
CCB	CAPE COD BERM
CONC	CONCRETE
CBN	CATCH BASIN
D	DRAIN
DMH	DRAINAGE MANHOLE
E	ELECTRIC
EM	ELECTRIC METER
ELEV	ELEVATION
EXIST	EXISTING
FND	FIRST FLOOR ELEVATION
FND	FOUNDATION
G	GAS
GM	GAS METER
I	INVERT
IP	IRON PIPE
IR	IRON ROD
LS	LANDSCAPING
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PCC	PRECAST CONCRETE CURB
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
R	RIM
RCP	REINFORCED CONCRETE PIPE
RD	RADIUS
S	SEWER
SCH	SCHEDULE
TP	TEST PIT
TOF	TOP OF FOUNDATION
TYP	TYPICAL
UP	UTILITY POLE
W	WATER
WS	WATER SERVICE

LEGEND

EXISTING	PROPOSED	
—55—	—100—	CONTOUR ELEVATION
	—	EROSION CONTROL / LIMIT OF WORK
x100.0	+100.0	SPOT GRADE
(D)	(D)	DRAIN MANHOLE (DMH)
(S)	(S)	CATCH BASIN (CBN)
(S)	(S)	SEWER MANHOLE (SMH)
(UP)	(UP)	UTILITY POLE (UP)
(L)	(L)	LIGHT POLE
(L)	(L)	LIGHT
(S)	(S)	SIGN
(A)	(A)	ADA ACCESSIBLE PARKING
(F)	(F)	FENCE
(R)	(R)	ACCESSIBLE RAMP
(T)	(T)	DECIDUOUS TREE
(C)	(C)	CONIFEROUS TREE
(A)	(A)	ARBORVITAE TREE
(D)	(D)	PROPOSED DOOR

GENERAL NOTES:

- RECORD OWNER: 7-9 PLEASANT STREET FALCONI PROPERTIES, LLC BK. 34877 PG. 533
- DEED REFERENCES: 672 RANDOLPH FALCONI PROPERTIES, LLC BK. 40083 PG. 59
- RECORD PLANS: BK. 671 PG. 342 BK. 502 PG. 737
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF MILTON RESIDENCE C ZONING DISTRICT.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF MILTON FLOOD PLAIN OVERLAY DISTRICT.
- THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. ON MARCH OF 2022, AND PROPOSED CONDITIONS PER THE APPROVED SITE PLAN FOR 7-9 PLEASANT STREET FROM 2019.
- THERE ARE NO KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT.
- THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 0202E DATED 7/17/2012.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY AREA.
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.
- THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FIELD CHANGES.
- ALL ELEVATIONS ARE ON AN ASSUMED DATUM.



SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

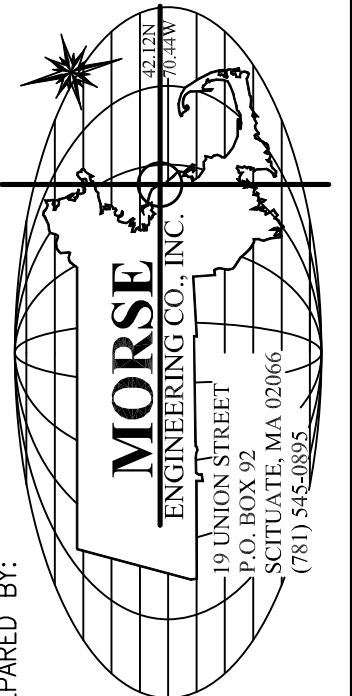
DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

MILTON PLANNING BOARD

BY:	DESCRIPTION	REV. DATE
PGG	REVISED PARKING LOT & LANDSCAPING	10/20/2023
PGG	ADDED ABUTTER	11/1/2023

PROGRESS
PRINT
FOR
DISCUSSION
ONLY



PREPARED BY:

PROJECT:
7-9 PLEASANT STREET & 672 RANDOLPH AVE
(ASSESSOR'S PARCELS: 1-4-9 & 1-4-10)
MILTON, MASSACHUSETTS

PREPARED FOR:
FALCONI PROPERTIES, LLC

APPLICANT/OWNER

FALCONI PROPERTIES, LLC
4 FRANKLIN STREET
MILTON, MA 02186

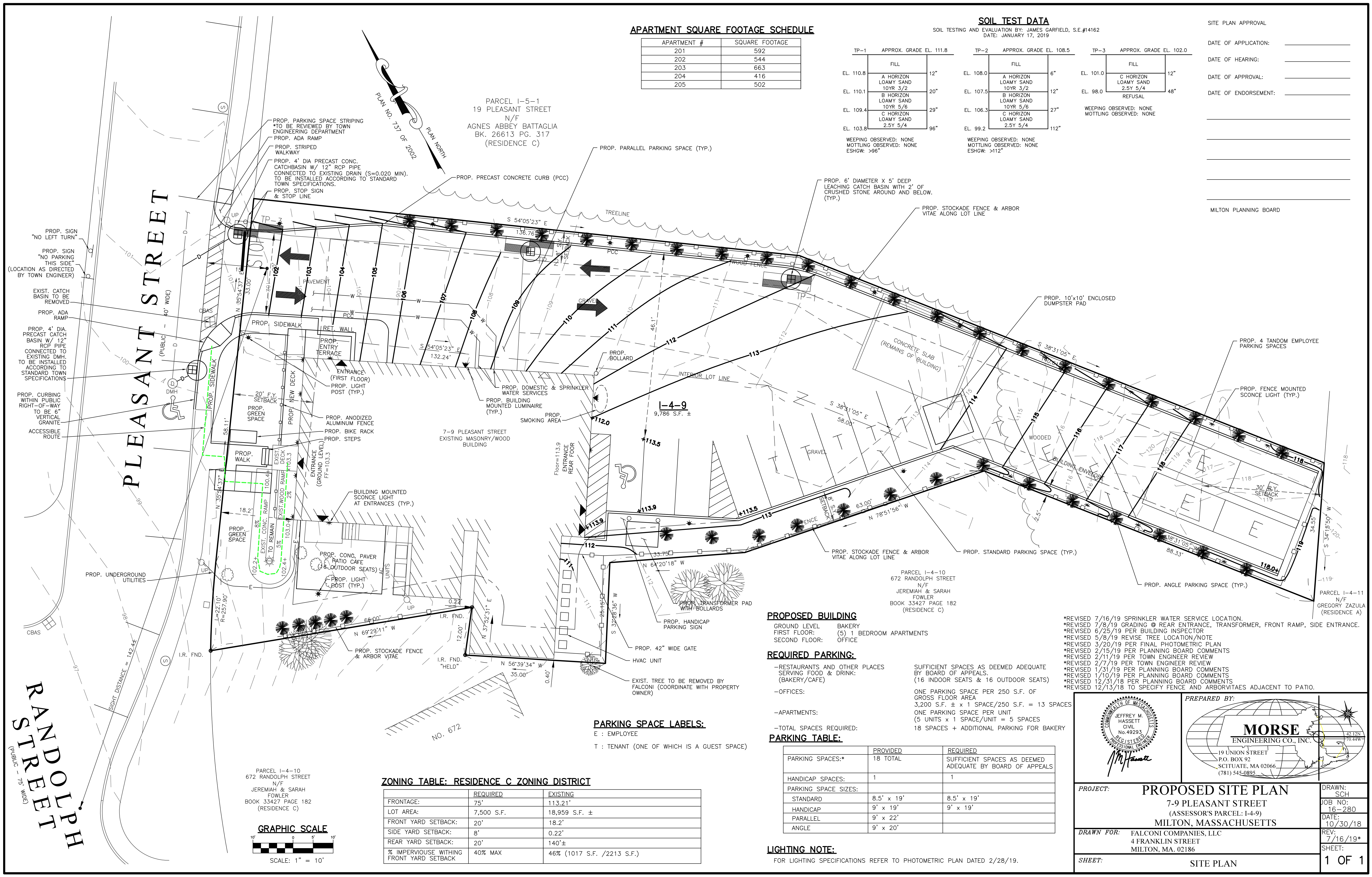
CIVIL ENGINEER / LAND SURVEYOR

MORSE ENGINEERING CO., INC.
10 NEW DRIFTWAY, SUITE 303
SCITUATE, MA 02066
(781) 545-0895

SHEET INDEX

SHEET 1	COVER PAGE
SHEET 2	PREVIOUS SITE PLAN
SHEET 3	EXISTING CONDITIONS
SHEET 4	EROSION & SEDIMENTATION CONTROL
SHEET 5	SITE LAYOUT & LANDSCAPING
SHEET 6	GRADING & UTILITIES
SHEET 7	CULTEC DETAILS
SHEET 8	WATERSHED DELINEATION

JOB NO:	18-163
SCALE:	1" = 20'
DESIGN:	PGG
CHK:	GJM & JMH
DATE:	5/8/2023
PLAN TITLE:	COVER PAGE
SHEET:	1 OF 8



APARTMENT SQUARE FOOTAGE SCHEDULE

APARTMENT #	SQUARE FOOTAGE
201	592
202	544
203	663
204	416
205	502

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE EL. 111.8	TP-2	APPROX. GRADE EL. 108.5	TP-3	APPROX. GRADE EL. 102.0
EL. 110.8	FILL 12"	EL. 108.0	FILL 6"	EL. 101.0	FILL 12"
EL. 110.1	A HORIZON LOAMY SAND 10YR 3/2 20"	EL. 107.5	A HORIZON LOAMY SAND 10YR 3/2 12"	EL. 98.0	C HORIZON LOAMY SAND 2.5Y 5/4 48"
EL. 109.4	B HORIZON LOAMY SAND 10YR 5/6 29"	EL. 106.3	B HORIZON LOAMY SAND 10YR 5/6 27"		REFUSAL
EL. 103.8	C HORIZON LOAMY SAND 2.5Y 5/4 96"	EL. 99.2	C HORIZON LOAMY SAND 2.5Y 5/4 112"		WEEPING OBSERVED: NONE MOTTILING OBSERVED: NONE
	WEEPING OBSERVED: NONE MOTTILING OBSERVED: NONE ESHW: >96"		WEEPING OBSERVED: NONE MOTTILING OBSERVED: NONE ESHW: >112"		

SITE PLAN APPROVAL

DATE OF APPLICATION: _____
DATE OF HEARING: _____
DATE OF APPROVAL: _____
DATE OF ENDORSEMENT: _____

MILTON PLANNING BOARD

PROPOSED BUILDING

GROUND LEVEL: BAKERY
FIRST FLOOR: (5) 1 BEDROOM APARTMENTS
SECOND FLOOR: OFFICE

REQUIRED PARKING:

—RESTAURANTS AND OTHER PLACES SERVING FOOD & DRINK: (BAKERY/CAFE)
—OFFICES:
—APARTMENTS:
—TOTAL SPACES REQUIRED:

SUFFICIENT SPACES AS DEEMED ADEQUATE BY BOARD OF APPEALS.
(16 INDOOR SEATS & 16 OUTDOOR SEATS)

ONE PARKING SPACE PER 250 S.F. OF GROSS FLOOR AREA
3,200 S.F. ± x 1 SPACE/250 S.F. = 13 SPACES
ONE PARKING SPACE PER UNIT
(5 UNITS x 1 SPACE/UNIT = 5 SPACES
18 SPACES + ADDITIONAL PARKING FOR BAKERY

PARKING TABLE:

	PROVIDED	REQUIRED
PARKING SPACES:*	18 TOTAL	SUFFICIENT SPACES AS DEEMED ADEQUATE BY BOARD OF APPEALS
HANDICAP SPACES:	1	1
PARKING SPACE SIZES:		
STANDARD	8.5' x 19'	8.5' x 19'
HANDICAP	9' x 19'	9' x 19'
PARALLEL	9' x 22'	
ANGLE	9' x 20'	

LIGHTING NOTE:

FOR LIGHTING SPECIFICATIONS REFER TO PHOTOMETRIC PLAN DATED 2/28/19.

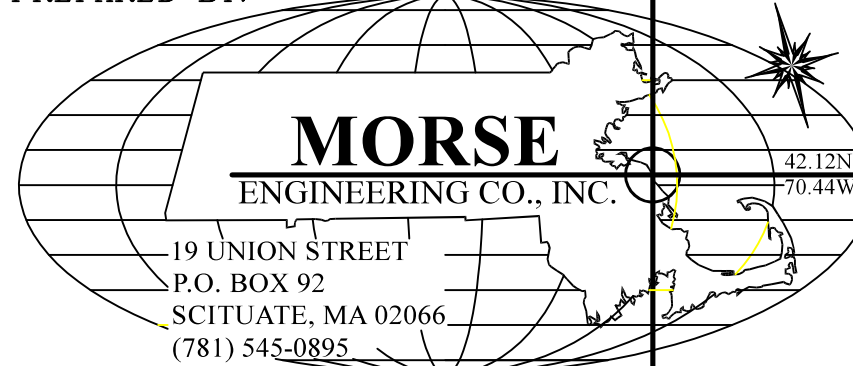
ZONING TABLE: RESIDENCE C ZONING DISTRICT

	REQUIRED	EXISTING
FRONTAGE:	75'	113.21'
LOT AREA:	7,500 S.F.	18,959 S.F. ±
FRONT YARD SETBACK:	20'	18.2'
SIDE YARD SETBACK:	8'	0.22'
REAR YARD SETBACK:	20'	140'±
% IMPERVIOUS WITHIN FRONT YARD SETBACK	40% MAX	46% (1017 S.F. /2213 S.F.)

*REVISED 7/16/19 SPRINKLER WATER SERVICE LOCATION.
*REVISED 7/8/19 GRADING @ REAR ENTRANCE, TRANSFORMER, FRONT RAMP, SIDE ENTRANCE.
*REVISED 6/25/19 PER BUILDING INSPECTOR
*REVISED 5/8/19 REVISE TREE LOCATION/NOTE
*REVISED 3/20/19 PER FINAL PHOTOMETRIC PLAN
*REVISED 2/15/19 PER PLANNING BOARD COMMENTS
*REVISED 2/11/19 PER TOWN ENGINEER REVIEW
*REVISED 2/7/19 PER TOWN ENGINEER REVIEW
*REVISED 1/31/19 PER PLANNING BOARD COMMENTS
*REVISED 1/10/19 PER PLANNING BOARD COMMENTS
*REVISED 12/31/18 PER PLANNING BOARD COMMENTS
*REVISED 12/13/18 TO SPECIFY FENCE AND ARBOR/VITAE ADJACENT TO PATIO.



PREPARED BY:



PROJECT: PROPOSED SITE PLAN
7-9 PLEASANT STREET
(ASSESSOR'S PARCEL: I-4-9)
MILTON, MASSACHUSETTS

DRAWN FOR: FALCONI COMPANIES, LLC
4 FRANKLIN STREET
MILTON, MA. 02186

SHEET: SITE PLAN

DRAWN: SCH
JOB NO: 16-280
DATE: 10/30/18
REV: 7/16/19*
SHEET: 1 OF 1

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE EL. 111.8	TP-2	APPROX. GRADE EL. 108.5	TP-3	APPROX. GRADE EL. 102.0
	FILL		FILL		FILL
EL. 110.8	A HORIZON LOAMY SAND 10YR 3/2	EL. 108.0	A HORIZON LOAMY SAND 10YR 3/2	EL. 101.0	C HORIZON LOAMY SAND 2.5Y 5/4
EL. 110.1	B HORIZON LOAMY SAND 10YR 5/6	EL. 107.5	B HORIZON LOAMY SAND 10YR 5/6	EL. 98.0	REFUSAL
EL. 109.4	C HORIZON LOAMY SAND 2.5Y 5/4	EL. 106.3	C HORIZON LOAMY SAND 2.5Y 5/4	WEeping OBSERVED: NONE MOTTling OBSERVED: NONE	
EL. 103.8		EL. 99.2			
WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >96"		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >112"			

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: PAUL GRAEME GUNN, SE#14392
DATE: MAY 3, 2023

TP-A	APPROX. GRADE EL. 113.5	TP-B	APPROX. GRADE EL. 115.0	TP-C	APPROX. GRADE EL. 114.5
	A HORIZON LOAMY SAND 10YR 3/2		A HORIZON LOAMY SAND 10YR 3/2		FILL
EL. 112.5	B HORIZON LOAMY SAND 10YR 5/4	EL. 113.8	B HORIZON LOAMY SAND 10YR 5/4	EL. 108.7	C HORIZON LOAMY SAND 2.5Y 5/2
EL. 110.8	C HORIZON LOAMY SAND 2.5Y 5/2	EL. 112.7	C HORIZON LOAMY SAND 2.5Y 5/2	EL. 107.0	
EL. 106.2	REFUSAL	EL. 105.0		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >90"	
WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >88"		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >120"			

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

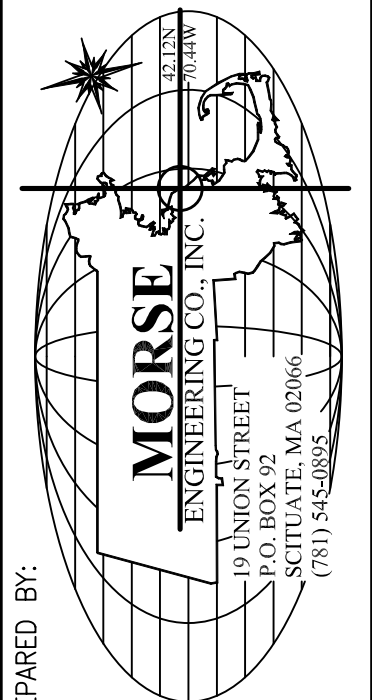
DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

MILTON PLANNING BOARD

BY:	DESCRIPTION	REV. DATE
PGG	REVISED PARKING LOT & LANDSCAPING	10/20/2023
PGG	ADDED ABUTTER	11/1/2023

PROGRESS
PRINT
FOR
DISCUSSION
ONLY



PROJECT: 7-9 PLEASANT STREET & 672 RANDOLPH AVE
(ASSESSOR'S PARCELS: 1-4-9 & 1-4-10)
MILTON, MASSACHUSETTS
PREPARED FOR: FALCONI PROPERTIES, LLC

JOB NO: 18-163
SCALE: 1" = 20'
DESIGN: PGG
CHK: GJM & JMH
DATE: 5/8/2023

PLAN TITLE:
EXISTING
CONDITIONS

SHEET:
3 OF 8

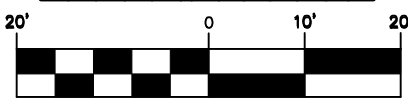
ZONING TABLE: 7-9 PLEASANT STREET

DESCRIPTION	REQUIRED	EXISTING
FRONTAGE.....	75'	113.21'
LOT AREA.....	7,500 S.F.	18,959± S.F.
FRONT YARD SETBACK.....	20'	18.2'
SIDE YARD SETBACK.....	8'	0.22'
REAR YARD SETBACK.....	20'	140'±
%IMPERVIOUS WITHIN FRONT YARD SETBACK.....	40% MAX	46%

ZONING TABLE: 672 RANDOLPH AVE

DESCRIPTION	REQUIRED	EXISTING
FRONTAGE.....	75'	91.32'
LOT AREA.....	7,500 S.F.	23,758± S.F.
FRONT YARD SETBACK.....	20'	44.0'
SIDE YARD SETBACK.....	8'	5.6'
REAR YARD SETBACK.....	20'	165.3'
%IMPERVIOUS WITHIN FRONT YARD SETBACK.....	40% MAX	17.4%

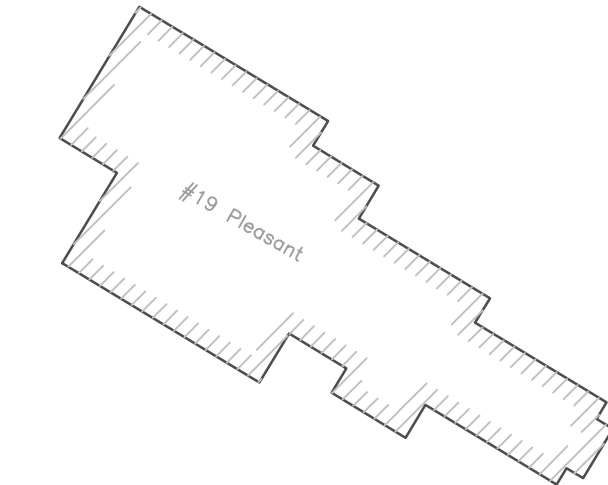
GRAPHIC SCALE



SCALE: 1" = 20'

PLAN NORTH

PARCEL I-5-1
N/F
BATTAGLIA FRANK R.



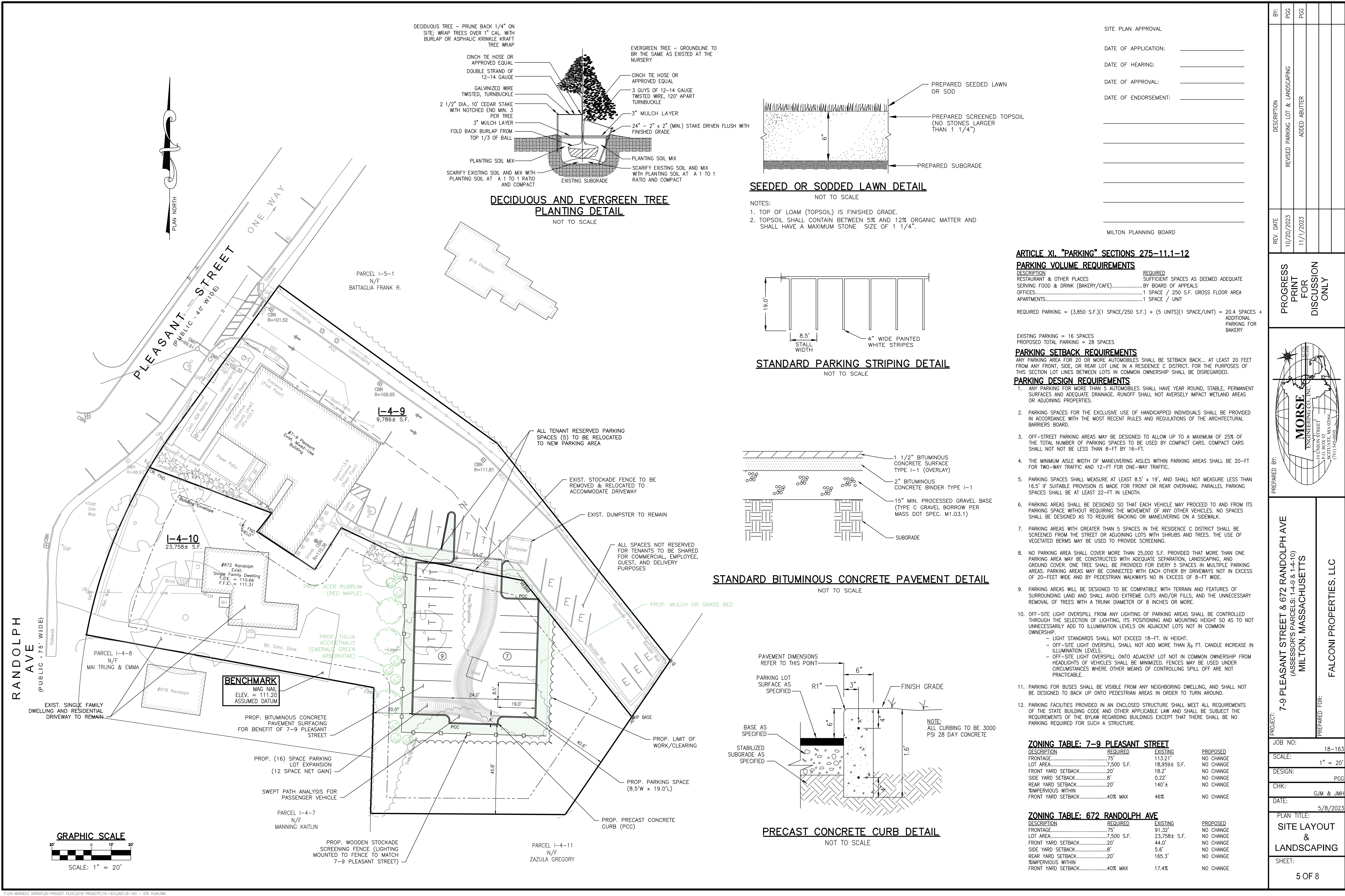
I-4-9
9,786± S.F.

I-4-10
23,758± S.F.

BENCHMARK
MAG NAIL
ELEV. = 111.20
ASSUMED DATUM

PARCEL I-4-7
N/F
MANNING KAITLIN

PARCEL I-4-11
N/F
ZAZULA GREGORY



SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE EL. 111.8	TP-2	APPROX. GRADE EL. 108.5	TP-3	APPROX. GRADE EL. 102.0
EL. 110.8	FILL	EL. 108.0	FILL	EL. 101.0	FILL
EL. 110.1	A HORIZON LOAMY SAND 10YR 3/2	EL. 107.5	A HORIZON LOAMY SAND 10YR 3/2	EL. 98.0	C HORIZON LOAMY SAND 2.5Y 5/4
EL. 109.4	B HORIZON LOAMY SAND 10YR 5/6	EL. 106.3	B HORIZON LOAMY SAND 10YR 5/6		REFUSAL
EL. 103.8	C HORIZON LOAMY SAND 2.5Y 5/4	EL. 99.2	C HORIZON LOAMY SAND 2.5Y 5/4		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE
	WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >96"		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >112"		

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: PAUL GRAEME GUNN, SE#14392
DATE: MAY 3, 2023

TP-A	APPROX. GRADE EL. 113.5	TP-B	APPROX. GRADE EL. 115.0	TP-C	APPROX. GRADE EL. 114.5
EL. 112.5	A HORIZON LOAMY SAND 10YR 3/2	EL. 113.8	A HORIZON LOAMY SAND 10YR 3/2	EL. 108.7	FILL
EL. 110.8	B HORIZON LOAMY SAND 10YR 5/4	EL. 112.7	B HORIZON LOAMY SAND 10YR 5/4	EL. 107.0	C HORIZON LOAMY SAND 2.5Y 5/2
EL. 106.2	C HORIZON LOAMY SAND 2.5Y 5/2	EL. 105.0	C HORIZON LOAMY SAND 2.5Y 5/2		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >90"
	WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >88"		WEeping OBSERVED: NONE MOTTling OBSERVED: NONE ESHGW: >120"		

SITE PLAN APPROVAL

DATE OF APPLICATION: _____

DATE OF HEARING: _____

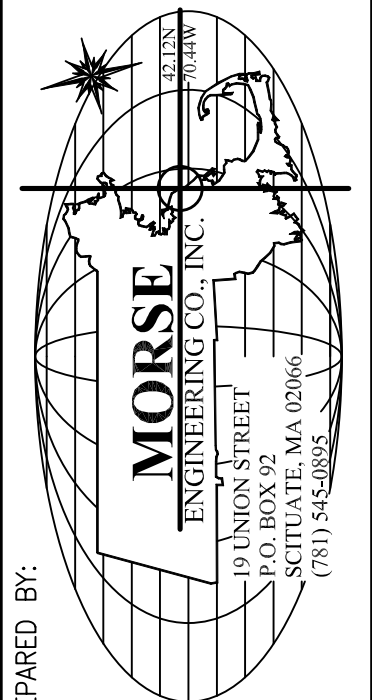
DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

MILTON PLANNING BOARD

REV. DATE	DESCRIPTION	BY:
10/20/2023	REVISED PARKING LOT & LANDSCAPING	PGG
11/1/2023	ADDED ABUTTER	PGG

PROGRESS
PRINT
FOR
DISCUSSION
ONLY



PROJECT: 7-9 PLEASANT STREET & 672 RANDOLPH AVE
(ASSESSOR'S PARCELS: 1-4-9 & 1-4-10)
MILTON, MASSACHUSETTS

PREPARED FOR: FALCONI PROPERTIES, LLC

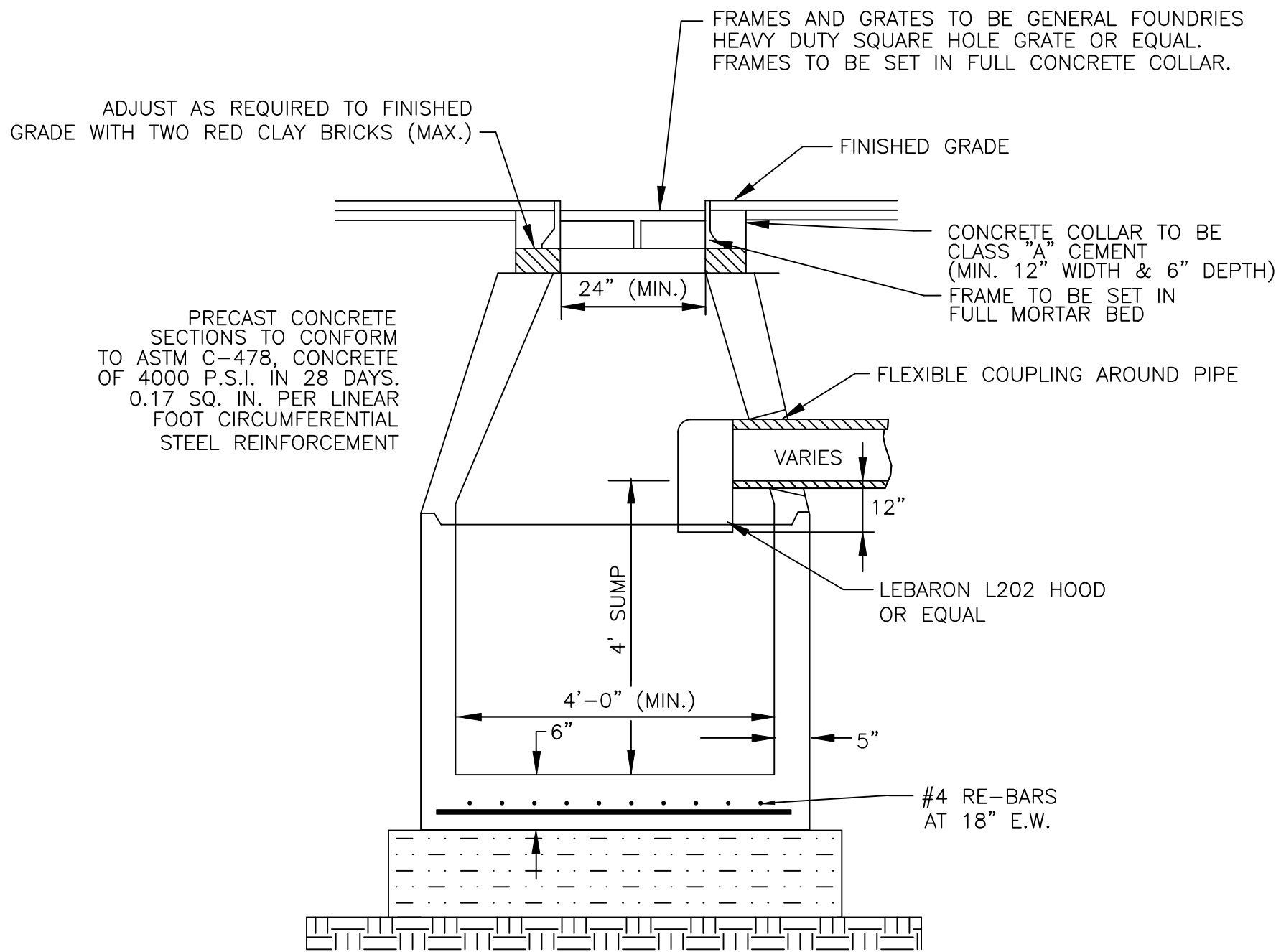
JOB NO:	18-163
SCALE:	1" = 20'
DESIGN:	PGG
CHK:	GJM & JMH
DATE:	5/8/2023
PLAN TITLE:	GRADING & UTILITIES
SHEET:	6 OF 8

RANDOLPH
AVE
(PUBLIC - 75' WIDE)

PLEASANT
STREET
(PUBLIC - 10' WIDE)

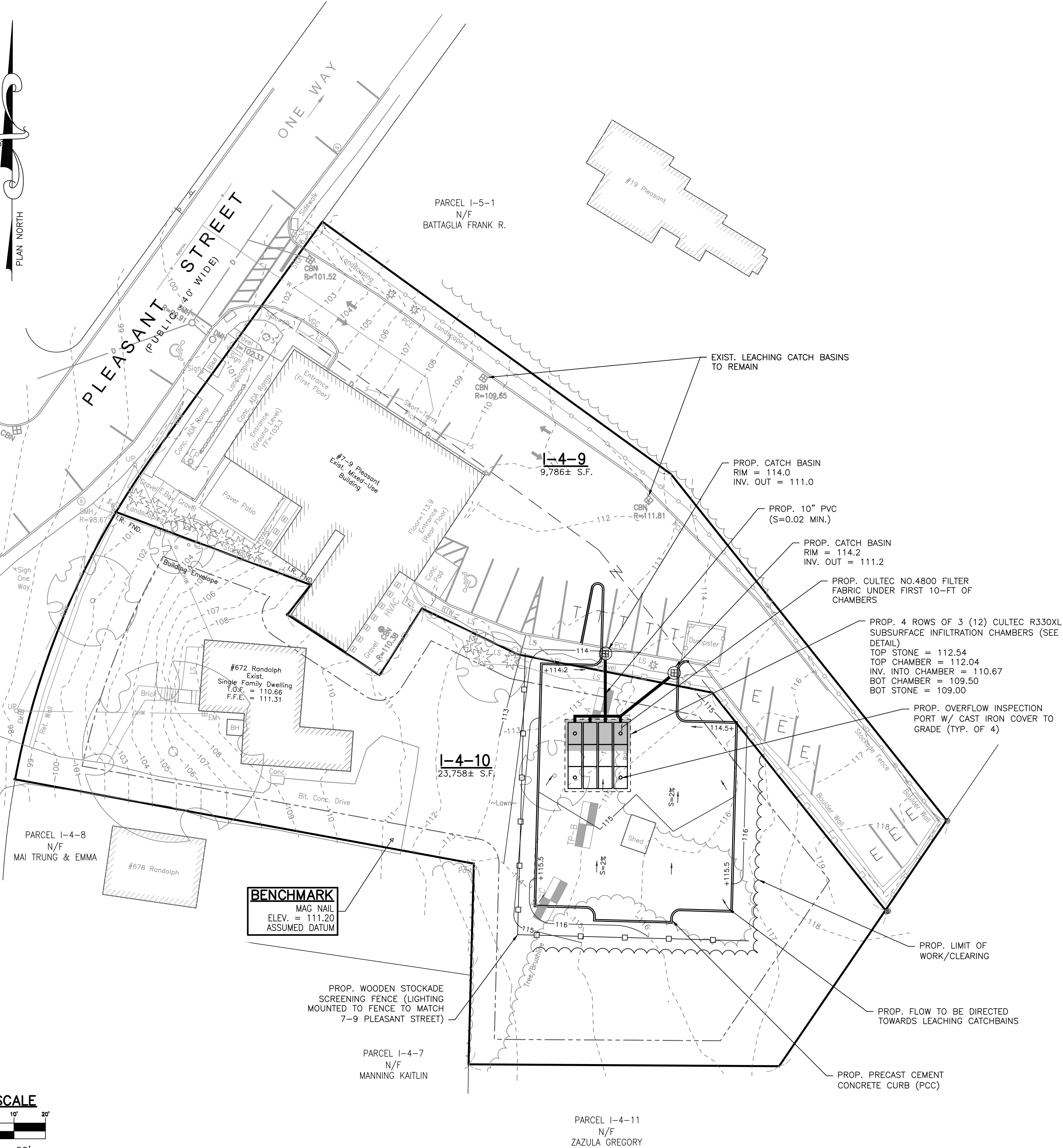
BENCHMARK
MAG NAIL
ELEV. = 111.20
ASSUMED DATUM

GRAPHIC SCALE
0 10' 20'
SCALE: 1" = 20'



- STORM DRAIN NOTES:**
1. DRAIN PIPE TO BE 10" SDR-35 PIPE.
 2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
 3. SHEETING, IF USED, SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
 4. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
 5. BRICKS SHALL BE RED CLAY.

STANDARD CATCH BASIN DETAIL
NOT TO SCALE



CULTEC RECHARGER® 330XLHD PRODUCT SPECIFICATIONS

GENERAL

CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT, USA. (203-775-4416 OR 1-800-428-5832)
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER SHALL BE ARCHED IN SHAPE.
- THE CHAMBER SHALL BE OPEN-BOTTOMMED.
- THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES (775 mm) TALL, 52 INCHES (1321 mm) WIDE AND 8.5 FEET (2.59 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET (2.13 m).
- MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES (600 mm) HDPE.
- THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES (267 mm) HIGH BY 11.5 INCHES (292 mm) WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES (298 mm).
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
- THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 FT³ / FT (0.693 m³ / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT³ / UNIT (1.478 m³ / UNIT) - WITHOUT STONE.

- THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
- THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
- THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
- THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
- THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
- THE RECHARGER FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- THE CHAMBER SHALL HAVE A 6 INCH (152 mm) DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
- MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.66 m) THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

CULTEC NO. 4800™ WOVEN GEOTEXTILE

CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

GEOTEXTILE PARAMETERS

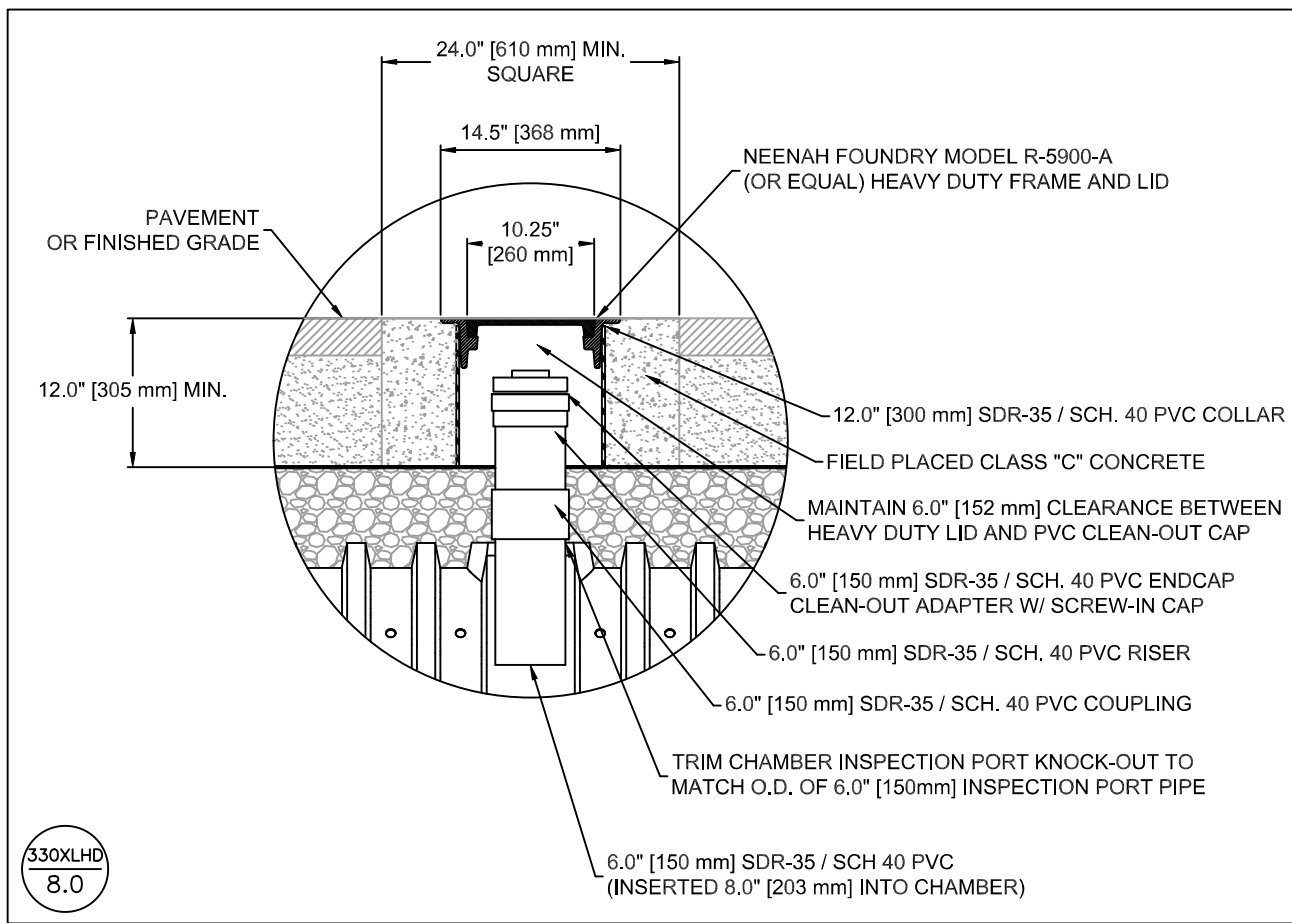
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT² (470 LPM/M²) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE

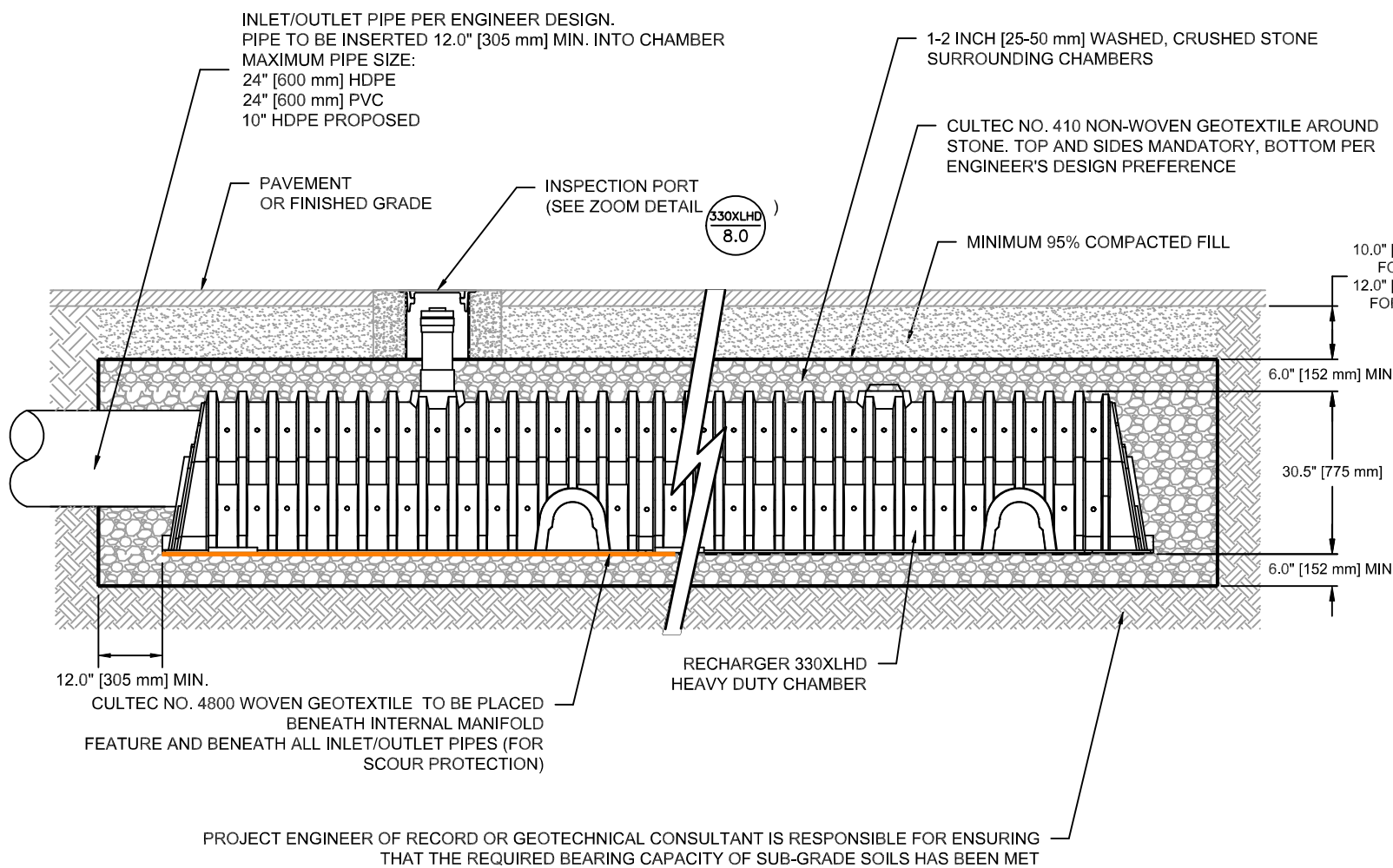
CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

GEOTEXTILE PARAMETERS

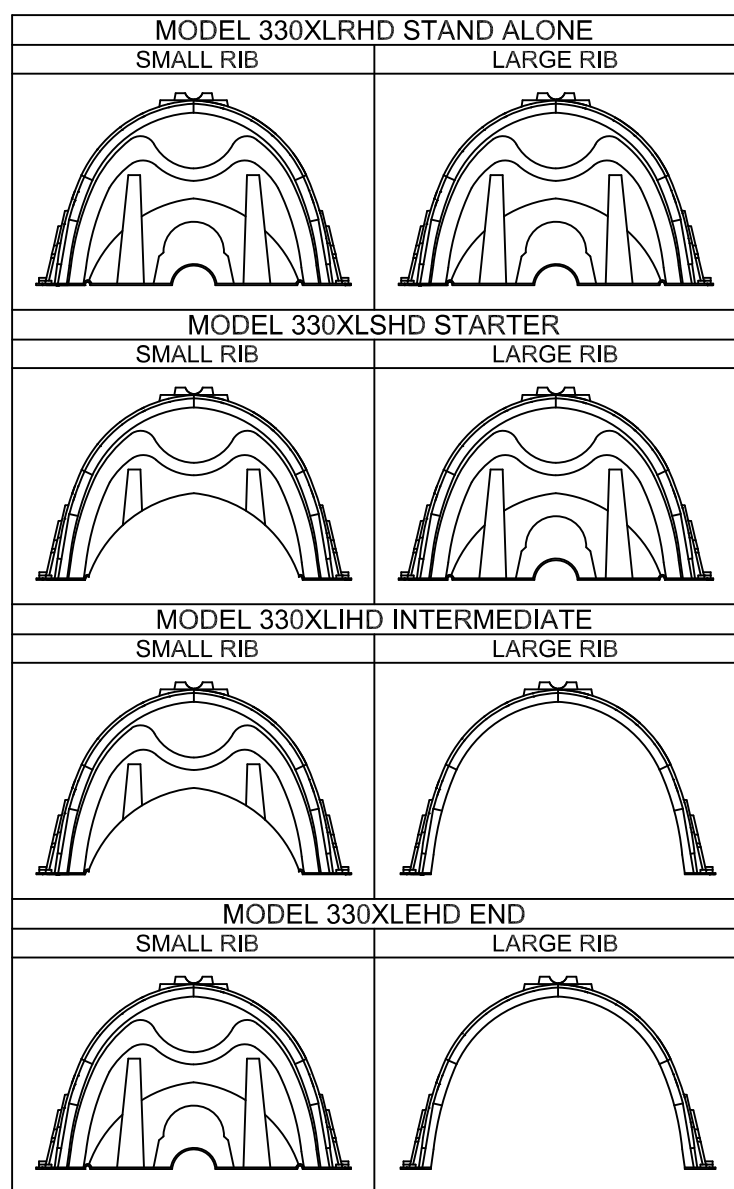
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M).
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 L/MIN/SM) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.



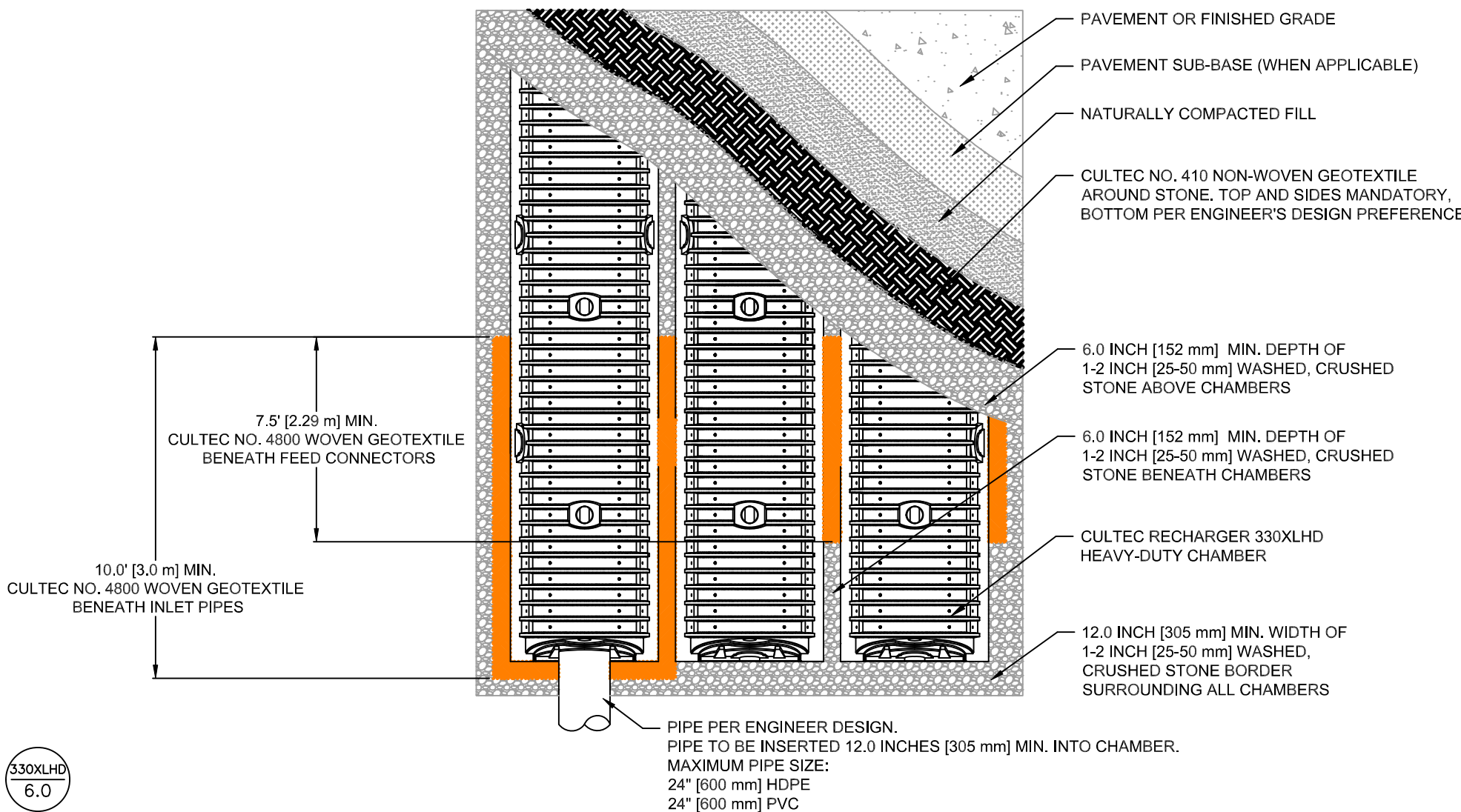
INSPECTION PORT- ZOOM DETAIL



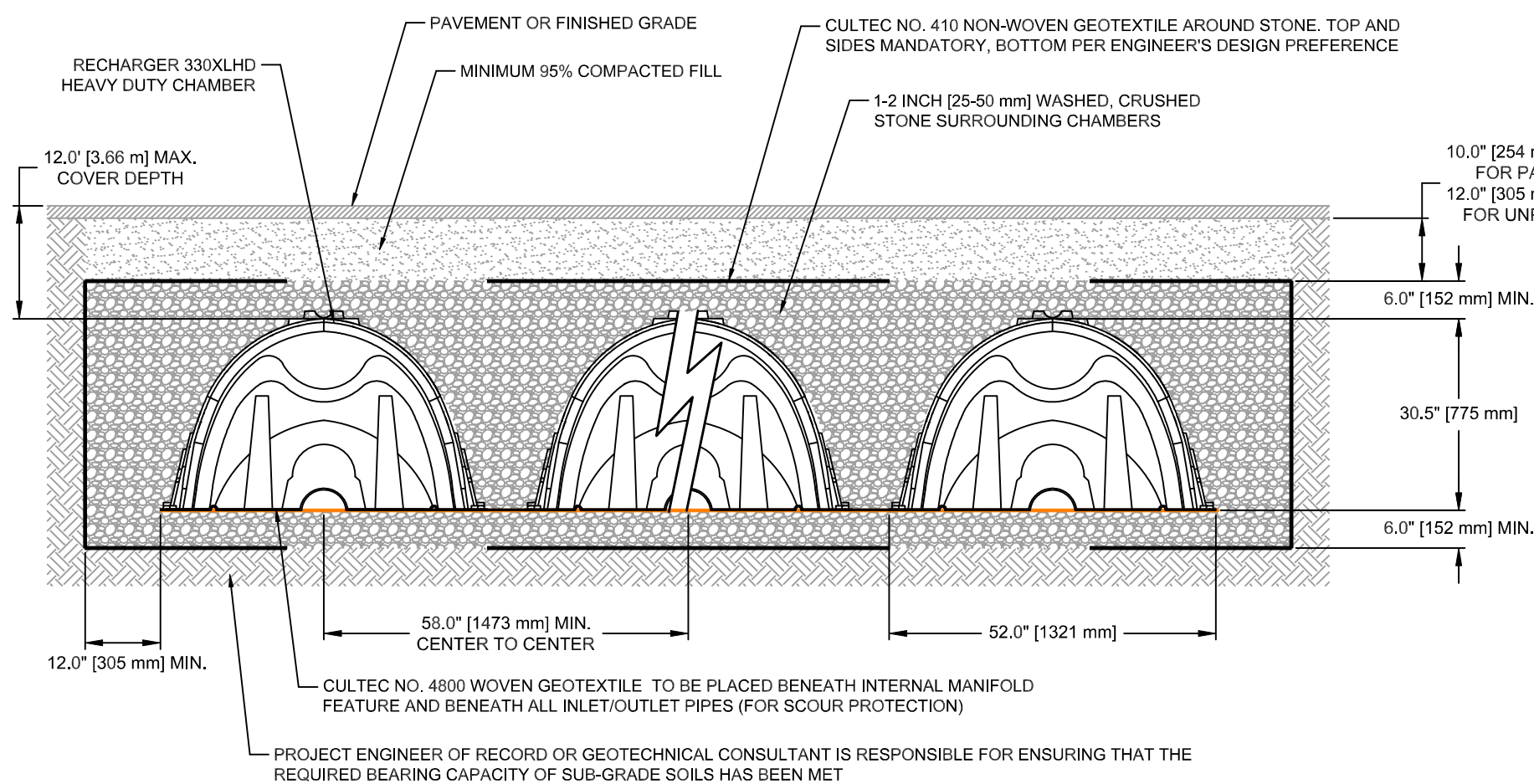
CULTEC INTERNAL MANIFOLD - INSPECTION PORT DETAIL



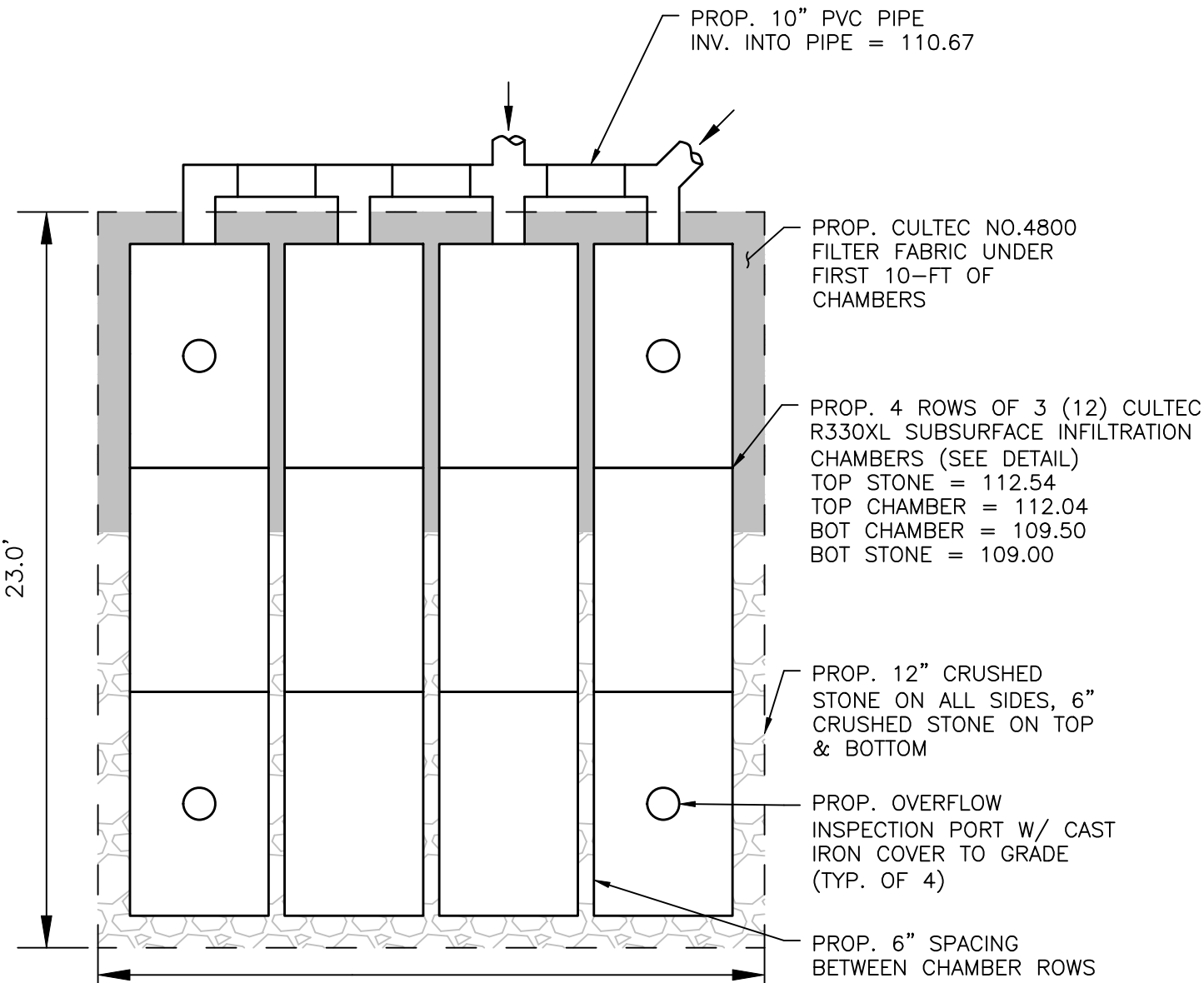
CULTEC RECHARGER 330XLHD HEAVY DUTY THREE VIEW



CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW

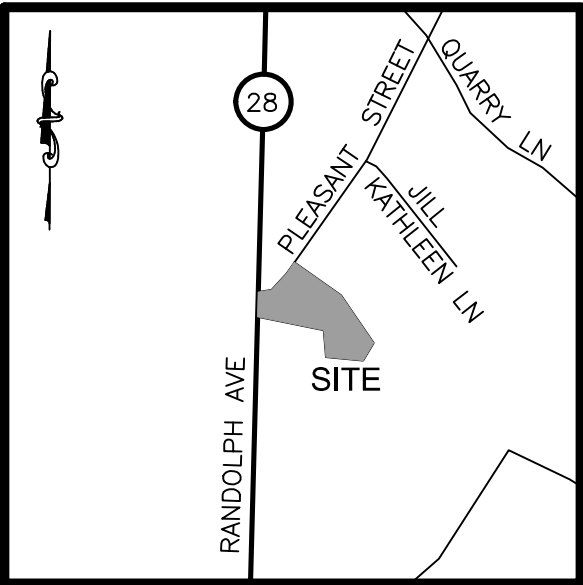


CULTEC RECHARGER 330XLHD HEAVY DUTY CROSS SECTION

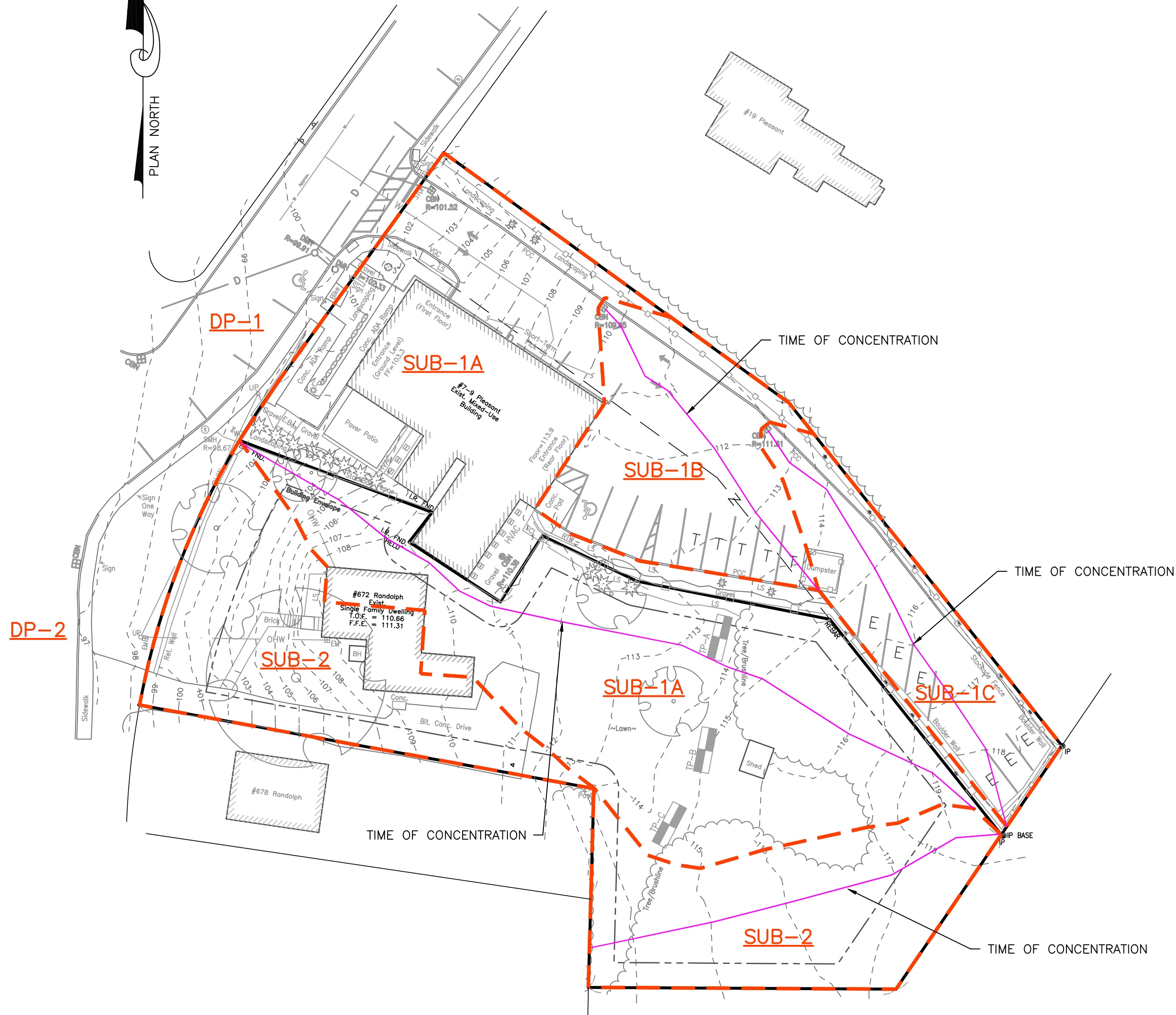


CULTEC R330XL LAYOUT DETAIL
SCALE: 1" = 5'

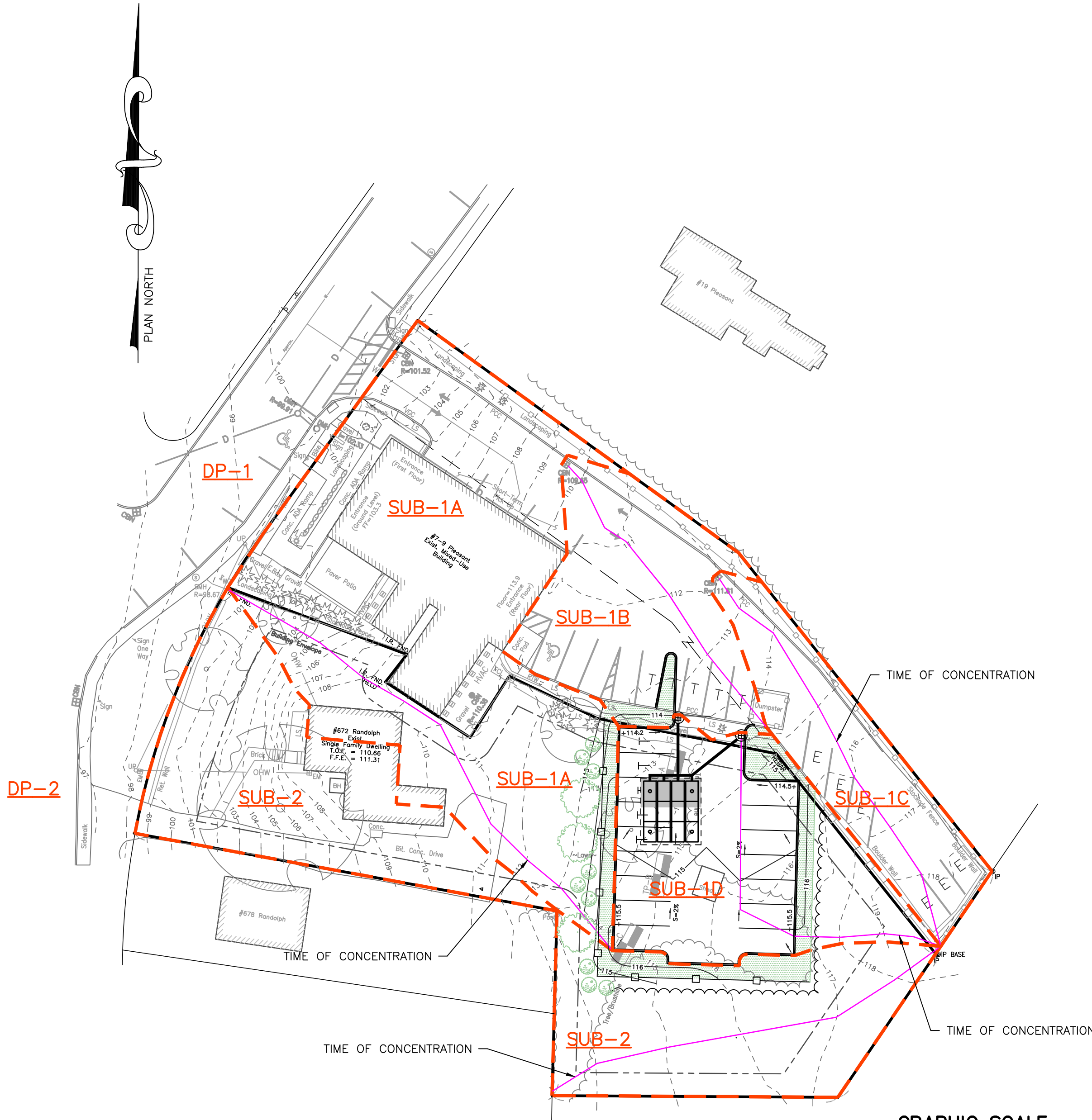
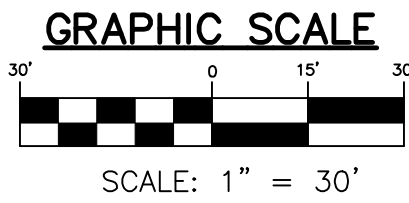
BY:	PGG	DESCRIPTION	REVISED	PARKING LOT & LANDSCAPING	PGG	ADDED	ABUTTER			
REV. DATE	10/20/2023		11/1/2023							
PROGRESS PRINT FOR DISCUSSION ONLY										
PREPARED BY:										
PROJECT:	7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 14-9 & 14-10) MILTON, MASSACHUSETTS									
PREPARED FOR:	FALCONI PROPERTIES, LLC									
JOB NO:	18-163									
SCALE:	1" = 20'									
DESIGN:	PGG									
CHK:	GJM & JMH									
DATE:	5/8/2023									
PLAN TITLE:	GRADING & UTILITIES									
SHEET:	7 OF 8									



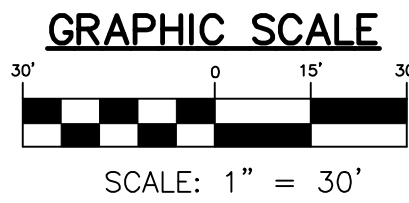
VICINITY MAP
NO SCALE



EXISTING CONDITIONS



PROPOSED CONDITIONS



PROJECT:		7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 1-4-9 & 1-4-10) MILTON, MASSACHUSETTS		PREPARED BY:				PROGRESS PRINT FOR DISCUSSION ONLY	
JOB NO:		18-163						BY:	
SCALE:		1" = 20'						PGG	
DESIGN:								PGG	
CHK:		GJM & JMH							
DATE:		5/8/2023							
PLAN TITLE:		WATERSHED DELINEATION PLANS							
SHEET:		8 OF 8							