

Zoning for

East Milton Square Milton

Community Meeting

November 6, 2023



Photo: hshassoc.com

Community Meeting Agenda

- 1. Welcome and introductions**
- 2. Section 3A Zoning and East Milton Square**
- 3. East Milton Square Overlay Zoning**
 - a. East Milton Square today
 - b. Exploring potential overlay zoning changes
 - c. Examples of successful mixed-use zoning
 - d. Other questions or thoughts
- 4. Next steps**



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Welcome and study introduction

East Milton Square Zoning



Planning Board Study

Planning Board members

- Meredith Hall, Chair
- Cheryl Tougias, Secretary
- Margaret Oldfield
- Sean Fahy
- Jim Davis

Tim Czerwienski, Director of Planning and Community Development



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Section 3A Zoning and East Milton Square

East Milton Square Zoning



East Milton Square Zoning

Table with **existing zoning characteristics** – Business

Minimum lot size (sf)	none
Max. height/SP (stories)	3/5
Max. height/SP (ft)	45/65
Maximum open space	none
Maximum units per acre	none
Minimum frontage (ft)	none

Front yard setback (ft)	none
Side yard setback (min)	6
Min. sum of both sides (ft)	none
Rear yard setback/res (ft)	12/20
Minimum for multi-family	2/unit
Minimum for non-residential	1/250

Table with **proposed 3A zoning characteristics** – East Milton Square Subdistrict

Minimum lot size (sf)	none
Maximum height (stories)	2.5
Maximum height (ft)	42
Maximum open space	40%
Maximum units per acre	30
Minimum frontage (ft)	none

Front yard setback (ft)	15
Side yard setback (min)	5
Min. sum of both sides (ft)	20
Rear yard setback (ft)	30
Maximum for multi-family	1/unit
Minimum for non-residential	1/1,500



3

East Milton Square Overlay Zoning

East Milton Square Zoning

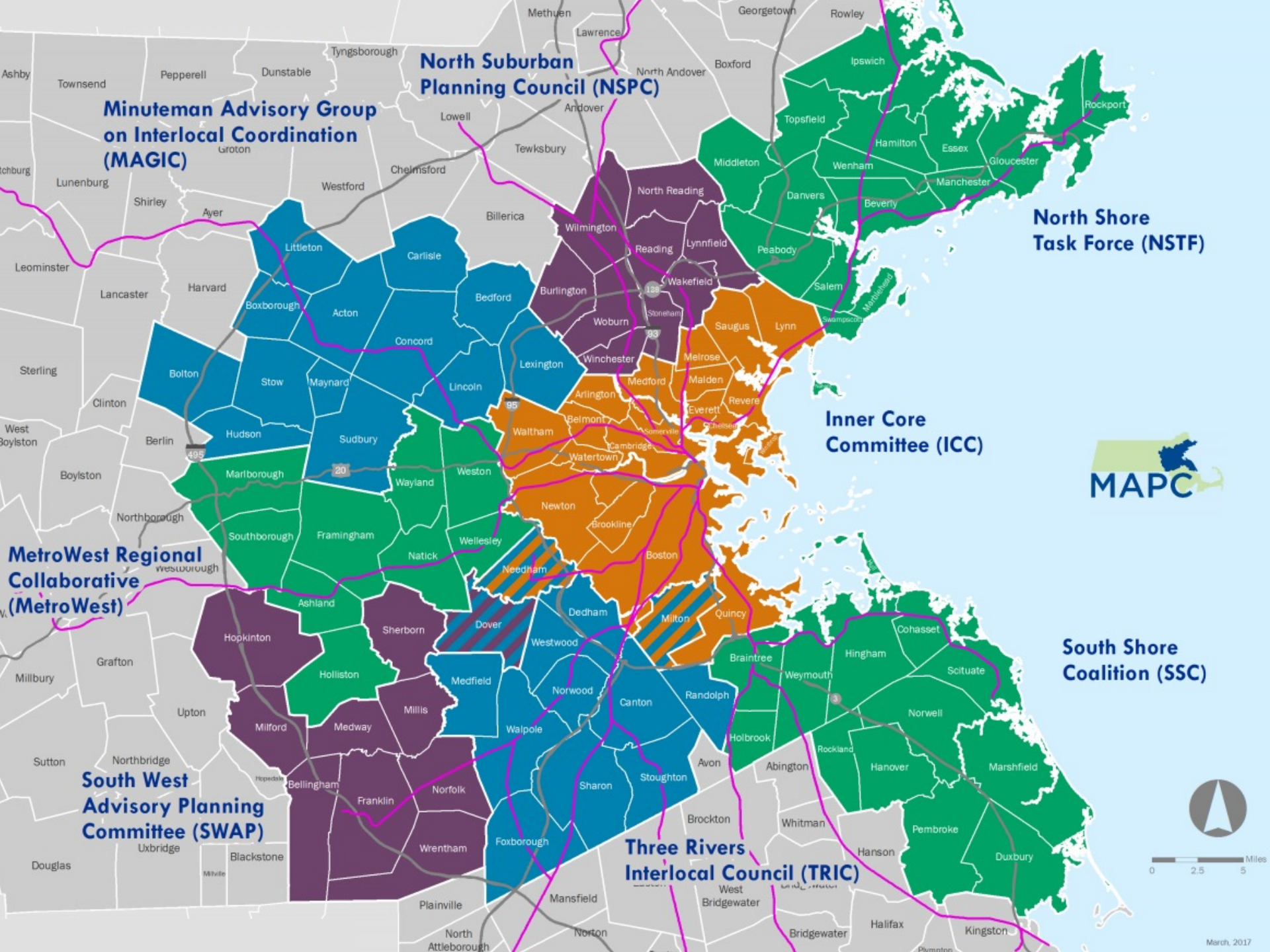


Planning Board Study

Metropolitan Area Planning Council (MAPC)

- Josh Fiala, AICP AIA LEED AP
- Sarah Scott
- Najee Nunnally





Planning Board Study

Building on the concentrated efforts in East Milton Square over the past several years to **define zoning and design regulation recommendations for adoption at Town Meeting to proactively guide future investments.**

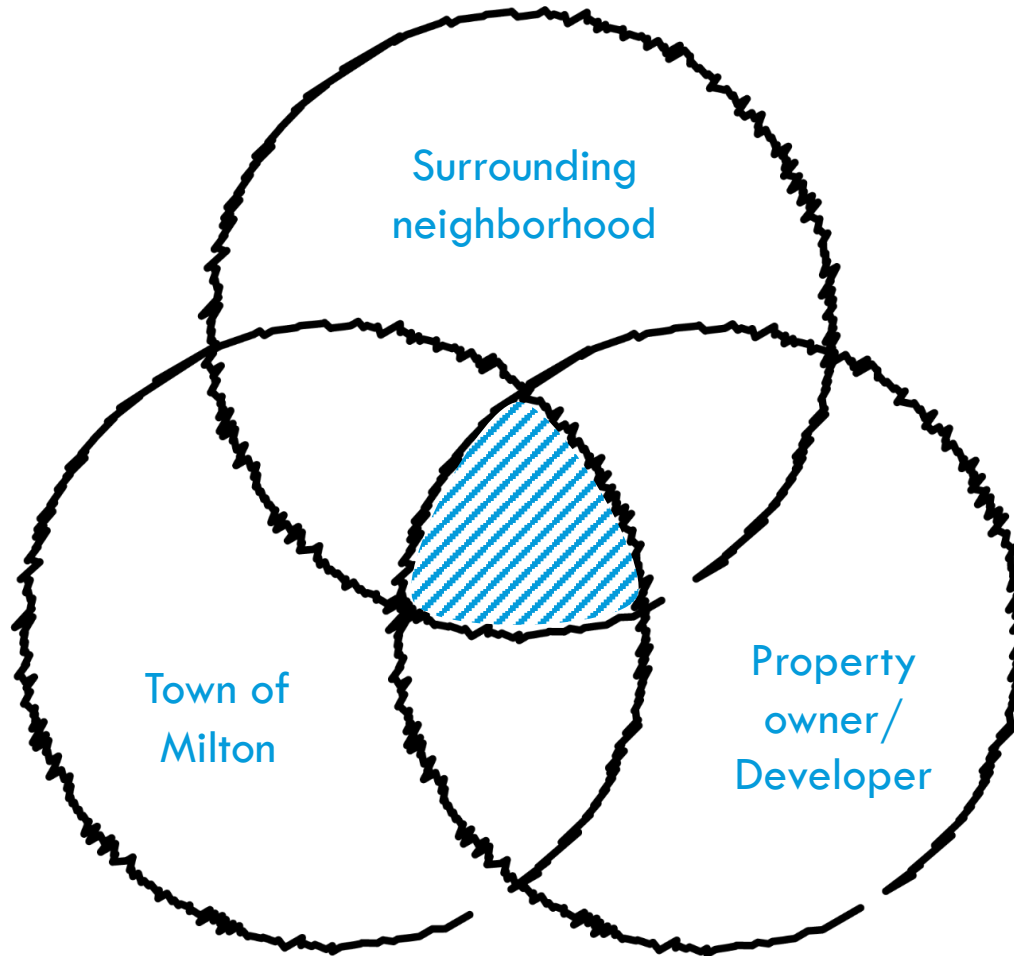


Foundational Studies

- **Looking Forward: East Milton (2021)**
- East Milton Local Rapid Recovery Plan (2021)
- ULI TA Report: East Milton Square (2019)
- Milton Master Plan (2015)
- Railway Village Historic District National Register of Historic Places Registration Form (2000)
- Milton Zoning Bylaw (business district)



Proactively Guiding Development



East Milton Square Zoning Community Meeting

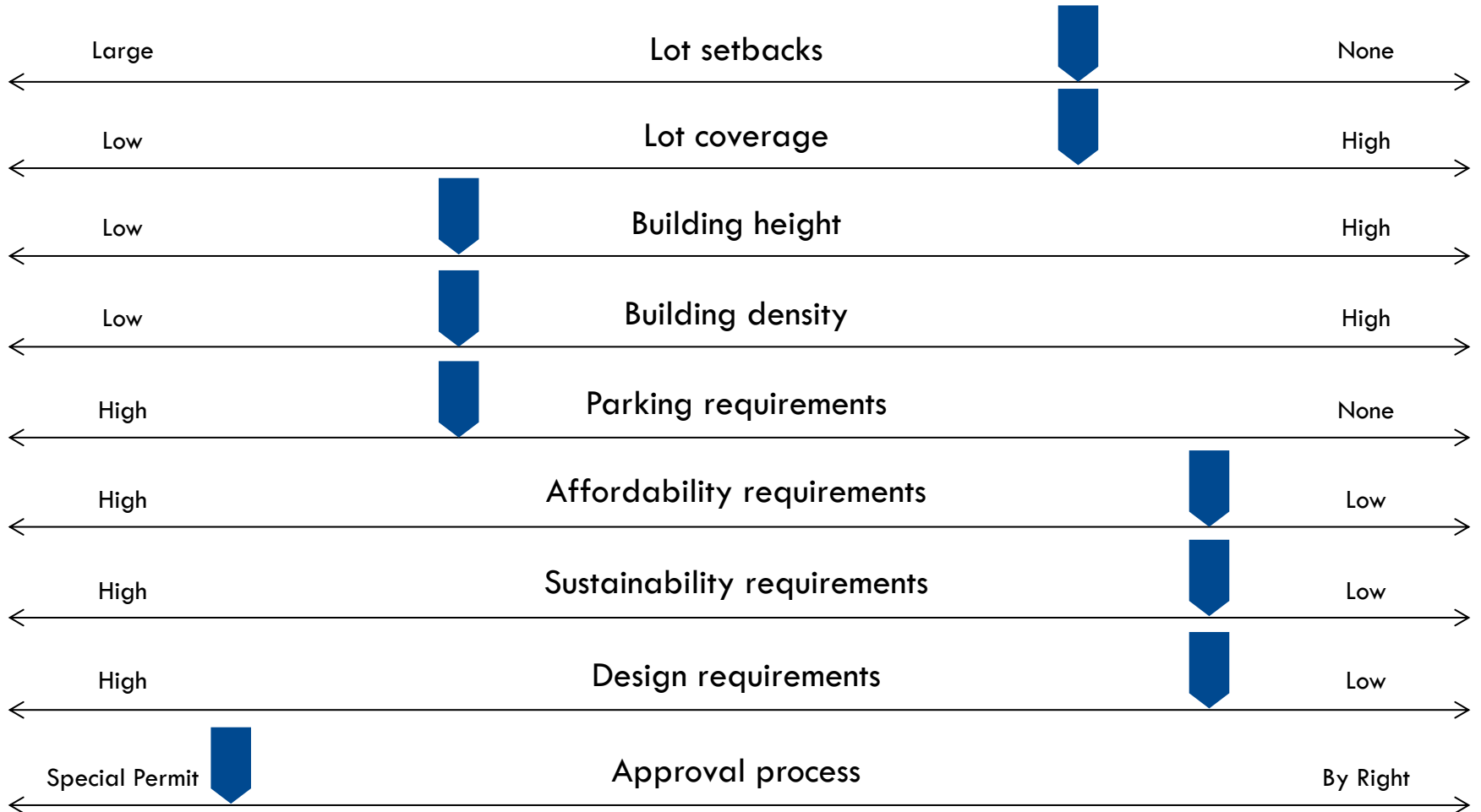
November 6, 2023



Increasing Development Viability

Less Viable

More Viable



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Leveraging Recent Investments



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Proactively Guiding Development

440 Granite Ave



Residences at East Milton

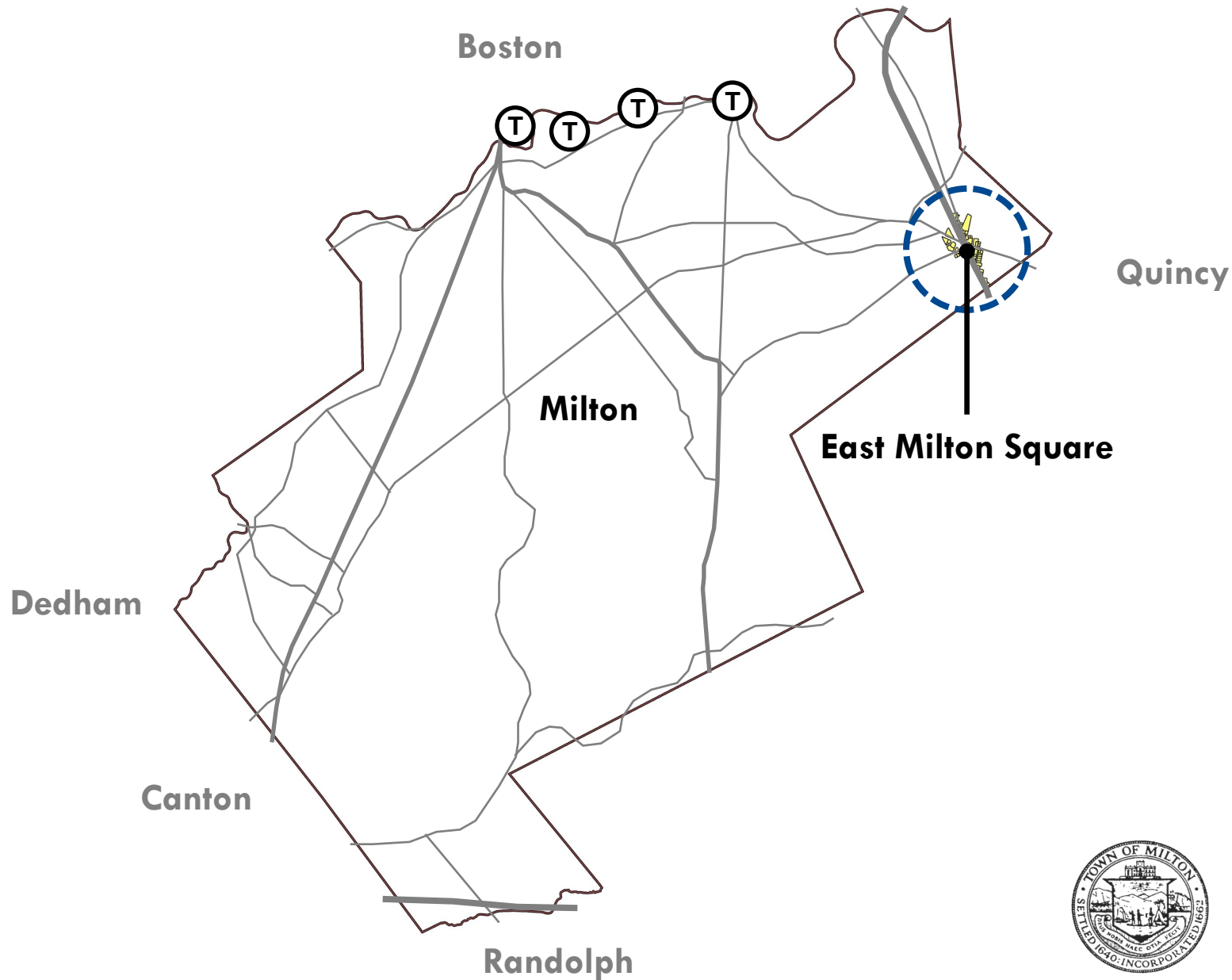
24 Franklin Street



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East Milton Square Locus Map



East Milton Square



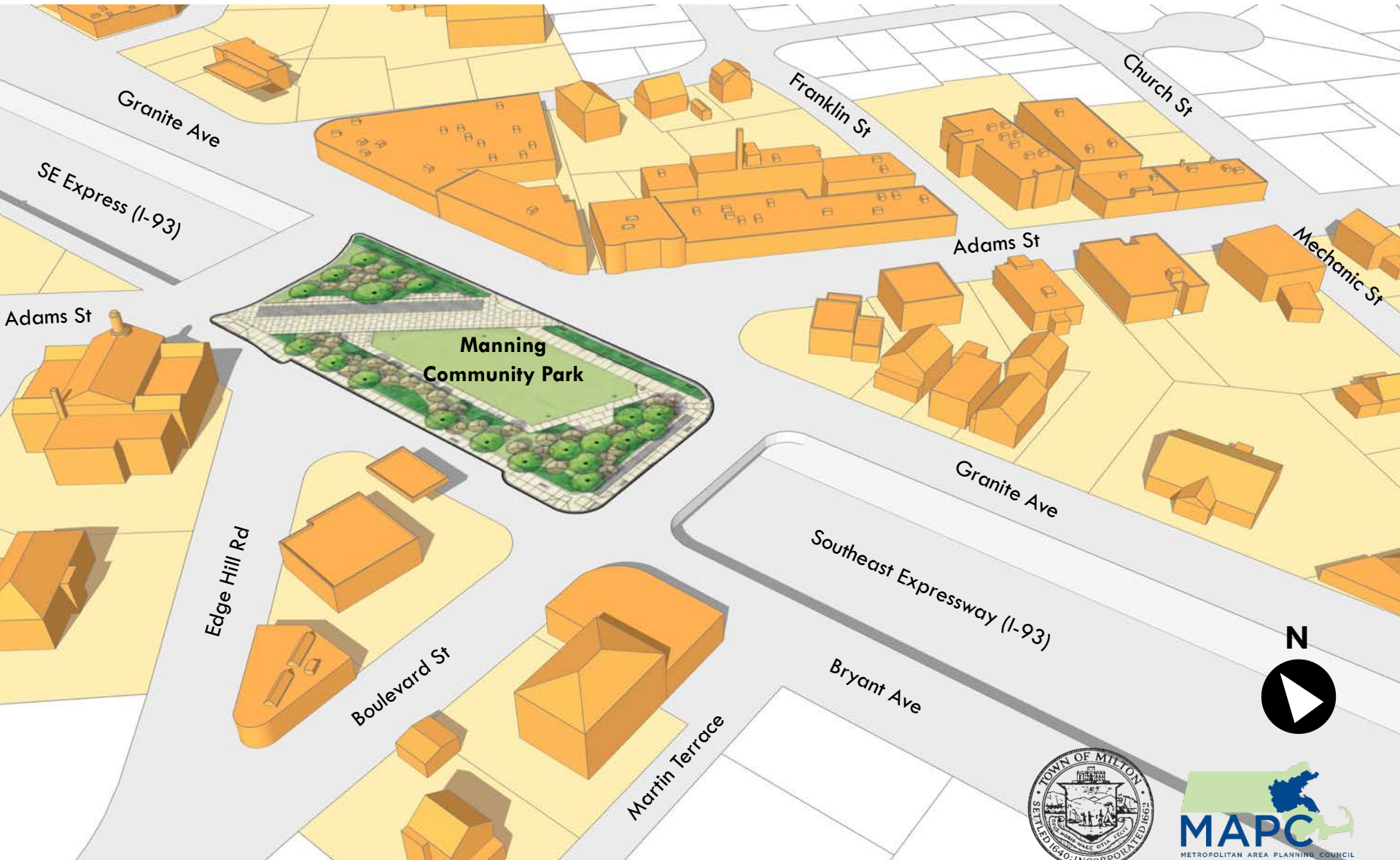
Legend

- Residential – Single Family
- Residential – Two+ Family

- Commercial – Retail/Serv./Rest.
- Commercial – Other
- Municipal/Institutional



East Milton Square



Community Poll 1: Welcome and introductions

1 Welcome and introductions

- 1A. What is your primary relationship to East Milton Square?
- 1B. Where do you live?
- 1C. What is your age?
- 1D. How often do you visit East Milton Square?
- 1E. What is your top priority for East Milton Square?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



3a

East Milton Square today

East Milton Square Zoning



Foundational Studies

- **Looking Forward: East Milton (2021)**
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Looking Forward: East Milton (2021)

A Vision for East Milton Square

This plan envisions East Milton Square as a vibrant and welcoming neighborhood that showcases the Town's history and embraces opportunities for intentional growth and change. An efficient circulation system connects the Square to nearby major roads, establishing the area as a local and regional destination with a range of thriving commercial, recreational, residential, and cultural opportunities. As the Town continues to implement its Complete Streets plan, East Milton Square benefits from traffic calming measures and pedestrian- and cyclist-friendly facilities.

Quality housing that is affordable across a broad income range and harmonious with the neighborhood brings increased diversity and bustling foot traffic to the district. The improved streetscape features beautiful vegetation, sidewalk seating, and inviting building façades. Subtle yet recognizable physical features woven throughout the Square create a distinctive identity for the district while allowing businesses to retain their individual characters. Patrons comfortably walk around the Square to visit its variety of popular businesses and enjoy Manning Park's well-maintained green space. Effective neighborhood-scale signage and parking management have improved the experience of traveling to and from the Square and protected neighborhood quality of life for East Milton residents.

The Town steadily implements a defined plan for East Milton and welcomes opportunities that encourage the neighborhood's managed evolution. Environmental stewardship is prioritized throughout the planning process, setting a standard for the Town to continue in future planning efforts. Respectful, consistent, and continual collaboration among Town staff, business owners, local business associations, and residents furthers this shared community vision toward a flourishing and sustainable East Milton Square.

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Looking Forward: East Milton (2021)

- **Establish a new business/mixed-use district** or an overlay district, such as a Chapter 40R district or Planned Development District (Preferred approach: new business/mixed-use district)
- **Expand business district** to incorporate existing businesses and allow room to grow
- **Establish subdistricts** so that zoning can be tailored to the desired character for various parts of East Milton Square
- **Calibrate building and site standards** to subdistricts
- **Allow for increased height** according to subdistricts
- **Reduce or eliminate parking requirements**, or provide zoning incentives in lieu of requiring each property to provide parking
- **Allow mixed-use by Site Plan Approval** in newly established district/overlay district



East Milton Square today





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East Milton Square Land Use



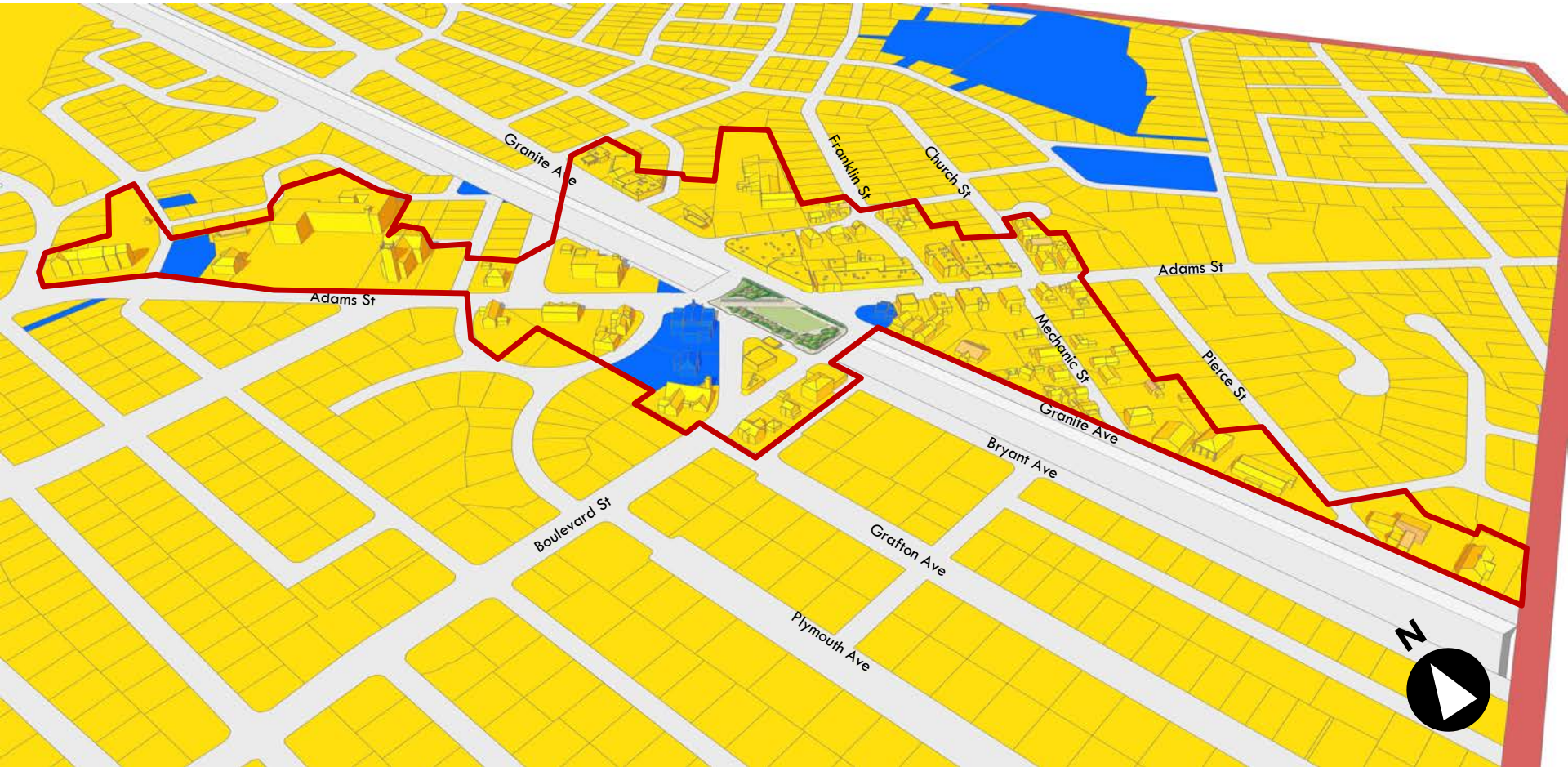
Legend

-  Residential – Single Family
-  Residential – Two+ Family



-  Commercial – Retail/Serv./Rest.
-  Commercial – Other
-  Municipal/Institutional



East Milton Square Public/Private



Legend



-  Publicly owned (Town of Milton, USPS)
-  Privately owned



East Milton Square Building/Land Value



Legend

-  Building value > land value
-  Building value < land value



East Milton Square Year Built

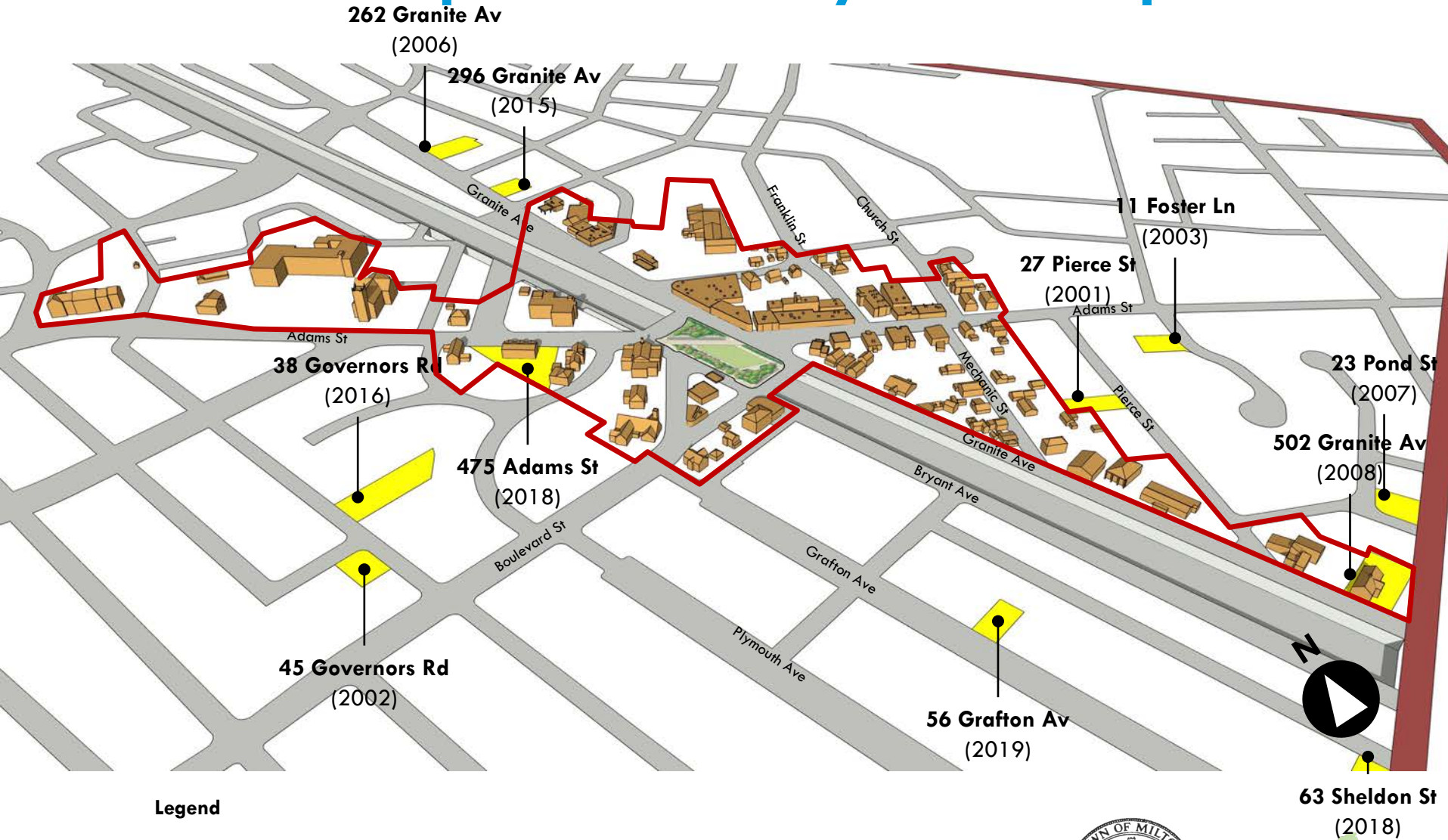


Legend

	Prior to 1920		1981 to 2000
	1921 to 1950		2001 to present
	1951 to 1980		No building



East Milton Square Recently Built Projects



Legend

 Year built after 2001 (11 properties)



Poll 2: East Milton Square today

2 East Milton Square today

- 2A. How close is East Milton Square to your ideal vision?
- 2B. Do you support additional private or public investment in East Milton Square?
- 2C. Do you support additional development or redevelopment in East Milton Square?
- 2D. What is your biggest concern for the future of East Milton Square?
- 2E. Do you generally support updating the zoning in East Milton Square?



3b

Exploring potential overlay zoning changes

East Milton Square Zoning



Current Zoning Context

Legend

Zoning Districts Updated by Zone Code

	Business		Residential C
	Residential A		Residential D
	Residential AA		Residential D1
	Residential B		Residential D2
			Residential E
			State

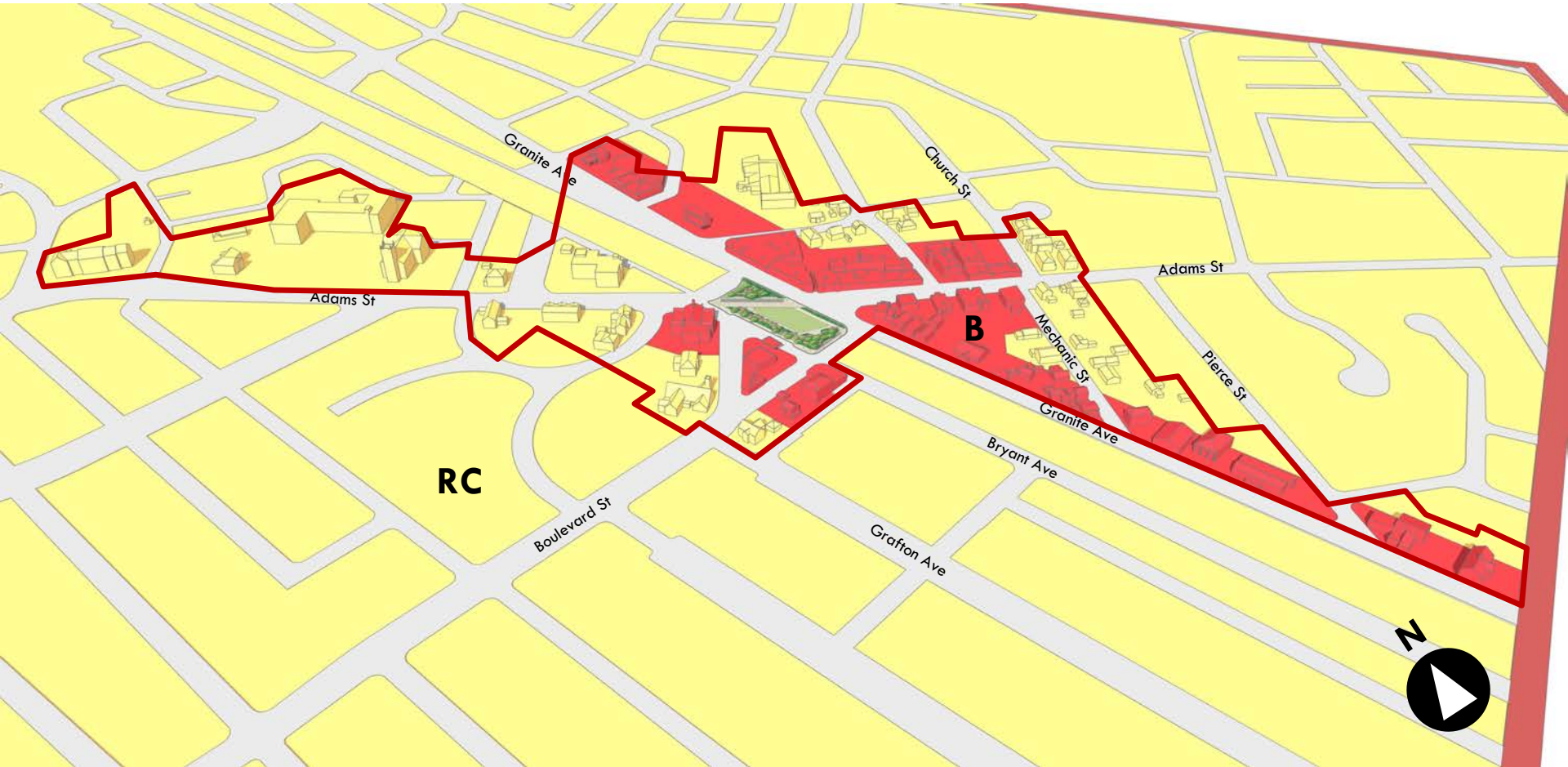


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East Milton Square Zoning



Legend

- General Business
- Residential C



Zoning concepts to be explored

- **Zoning purpose statement**
- **Zoning boundaries and subdistricts**
- **Allowed use options**
- **Importance of building form**
- **Dimensional standards** (setbacks, building height, density)
- **Parking requirements** (potential reductions, parking max)
 - District shared parking/parking agreements, shared parking by use
- **Design guidance** (streetscape, landscape, building design, sustainability)
 - Stepback to reduce visual impact of building height
- **Type of approval**

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Exploring type of zoning and requirements

- **Establish a new business/mixed-use district** or an overlay district, such as a Chapter 40R district or Planned Development District (Preferred approach: new business/mixed-use district)
- **Expand business district** to incorporate existing businesses and allow room to grow
- **Establish subdistricts** so that zoning can be tailored to the desired character for various parts of East Milton Square
- **Calibrate building and site standards** to subdistricts
- **Allow for increased height** according to subdistricts/incentives
- **Reduce or eliminate parking requirements**, or provide zoning incentives in lieu of requiring each property to provide parking
- **Allow mixed-use by Site Plan Approval** in newly established district/overlay district



East Milton Square Zoning

Potential Purpose Statement

- Proactively and intentionally guide commercial district investment
- Incentivize mixed-use redevelopment and an increased variety of housing options
- Enhance the sense of place and district identity
- Strengthen walkability and safe and convenient circulation for all travel
- Improve environmental sustainability and resilience of the area
- Leverage private investments to add community amenities while reducing impacts



Poll 3: Potential zoning changes

3 Subtopic: Zoning purpose

- 3A. What zoning purpose seems most appropriate for East Milton Square?

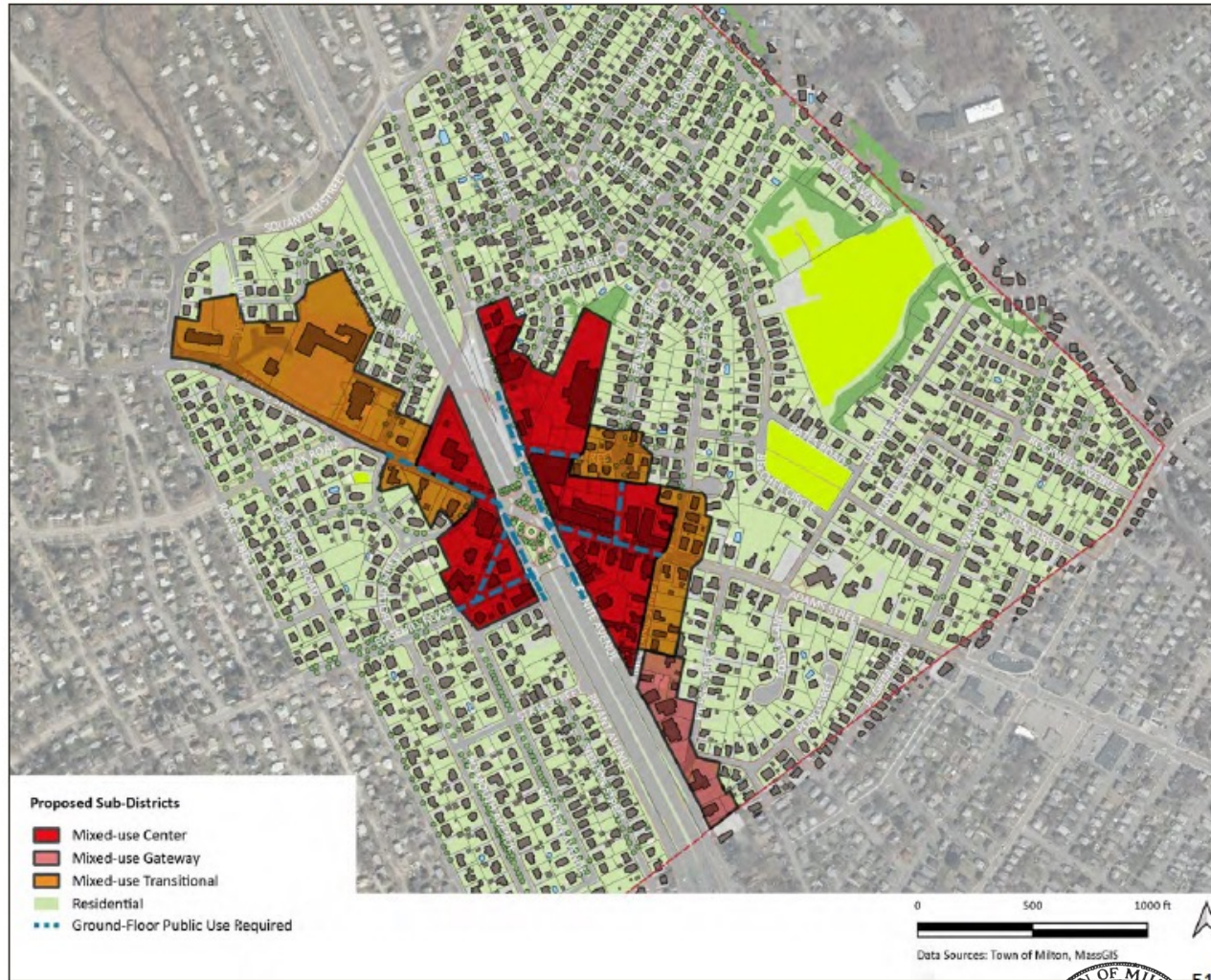
Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



Exploring zoning boundaries and subdistricts

Suggested Changes to Zoning Districts

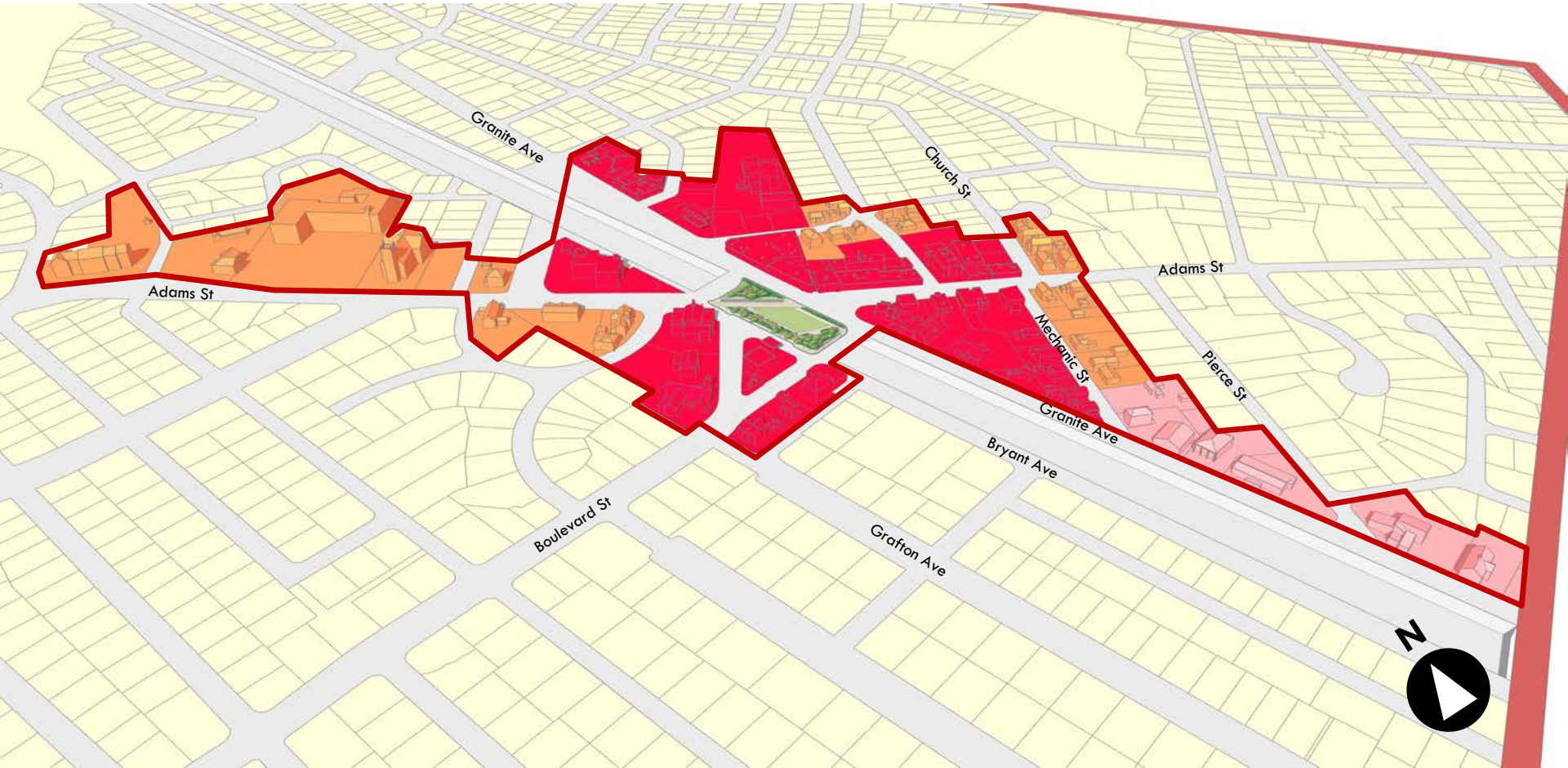


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East Milton Square Potential Boundary



Legend

- Mixed-use Center
- Mixed-use Gateway
- Mixed-use Transitional



Poll 3: Potential zoning changes

3 Subtopic: Zoning boundaries

- 3B. What option seems most appropriate for the boundary of zoning changes?

Answer questions through the follow-up online survey at:

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East Milton Square Zoning

Business District Uses

- Any use permitted in Residence AA, A, B, or C district
- Office, banks, assembly halls or places of amusement
- Signs permitted in a residence district and advertising signs not illuminated
- Retail or wholesale stores, shops for custom work, places where services are performed, places of building trades, sales rooms and repair shops for motor vehicles, garages, filling stations, storage warehouses, restaurants, bakers, dyers, confectioners, launderers, photographers, printers, and undertakers
- Signs or illuminated signs



Poll 3: Potential zoning changes

3 Subtopic: Allowed uses

- 3C. What option seems most appropriate for use regulations?
- 3D. What option seems most appropriate for ground floor use regulations?

Answer questions through the follow-up online survey at:

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East Milton Square Zoning

Building form



East Milton Square Zoning Community Meeting
November 8, 2013

MAPC
MIDDLESEX AREA PLANNING COUNCIL

Poll 3: Potential zoning changes

3 Subtopic: Dimensional standards

- 3E. What option seems most appropriate for emphasizing building form in regulations?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



East Milton Square Zoning

Table with **existing zoning characteristics** – Business

Minimum lot size (sf)	none
Max. height/SP (stories)	3/5
Max. height/SP (ft)	45/65
Maximum open space	none
Maximum units per acre	none
Minimum frontage (ft)	none

Front yard setback (ft)	none
Side yard setback (min)	6
Min. sum of both sides (ft)	none
Rear yard setback/res (ft)	12/20
Minimum for multi-family	2/unit
Minimum for non-residential	1/250

Table with **proposed 3A zoning characteristics** – East Milton Square Subdistrict

Minimum lot size (sf)	none
Maximum height (stories)	2.5
Maximum height (ft)	42
Maximum open space	40%
Maximum units per acre	30
Minimum frontage (ft)	none

Front yard setback (ft)	15
Side yard setback (min)	5
Min. sum of both sides (ft)	20
Rear yard setback (ft)	30
Maximum for multi-family	1/unit
Minimum for non-residential	1/1,500



Exploring dimensional standards

Suggested Subdistrict Purpose Statements

Mixed Use-Center Subdistrict

Purpose: To foster an active pedestrian-oriented mixed-use commercial center at moderate density, with a focus on ground floor commercial uses and housing that includes affordable units.

Mixed Use-Gateway Subdistrict

Purpose: To support the Mixed-use Center by providing additional residents within walking distance. To help meet Milton's housing needs by providing mixed-use and multi-family residential buildings with diverse housing units configurations and varied price points, including affordable housing.

Mixed Use-Transitional Subdistrict

Purpose: To allow room for East Milton Square's walkable commercial center to grow over time, while providing transition to adjacent residential areas.

Possible Zoning For Subdistricts

	Current Residence C	Current Business District	Mixed-Use Center	Mixed-Use Gateway	Mixed-Use Transitional
Front-Setback (min/max)	--/20'	--	2'/10'	0/10'	5'/20'
Building height (min/max)	--/35'	--/45' (65' by SP)	20'/60'	--/55'	--/55'
Ground floor height (min)	--	--	14'	10'	10'
Upper floor height (min)	--	--	10'	10'	10'
Stories (max)	2.5	3 (5 by SP)	5	4	4
Upper Story Stepback Requirement	--	--	Above 3 stories	Above 3 stories	Above 2 stories
Required Pedestrian-Oriented Frontage Elements	--	--	Y	N	Y
Ground Floor Public Use Requirement	--	--	See map	N	See map

Possible Parking

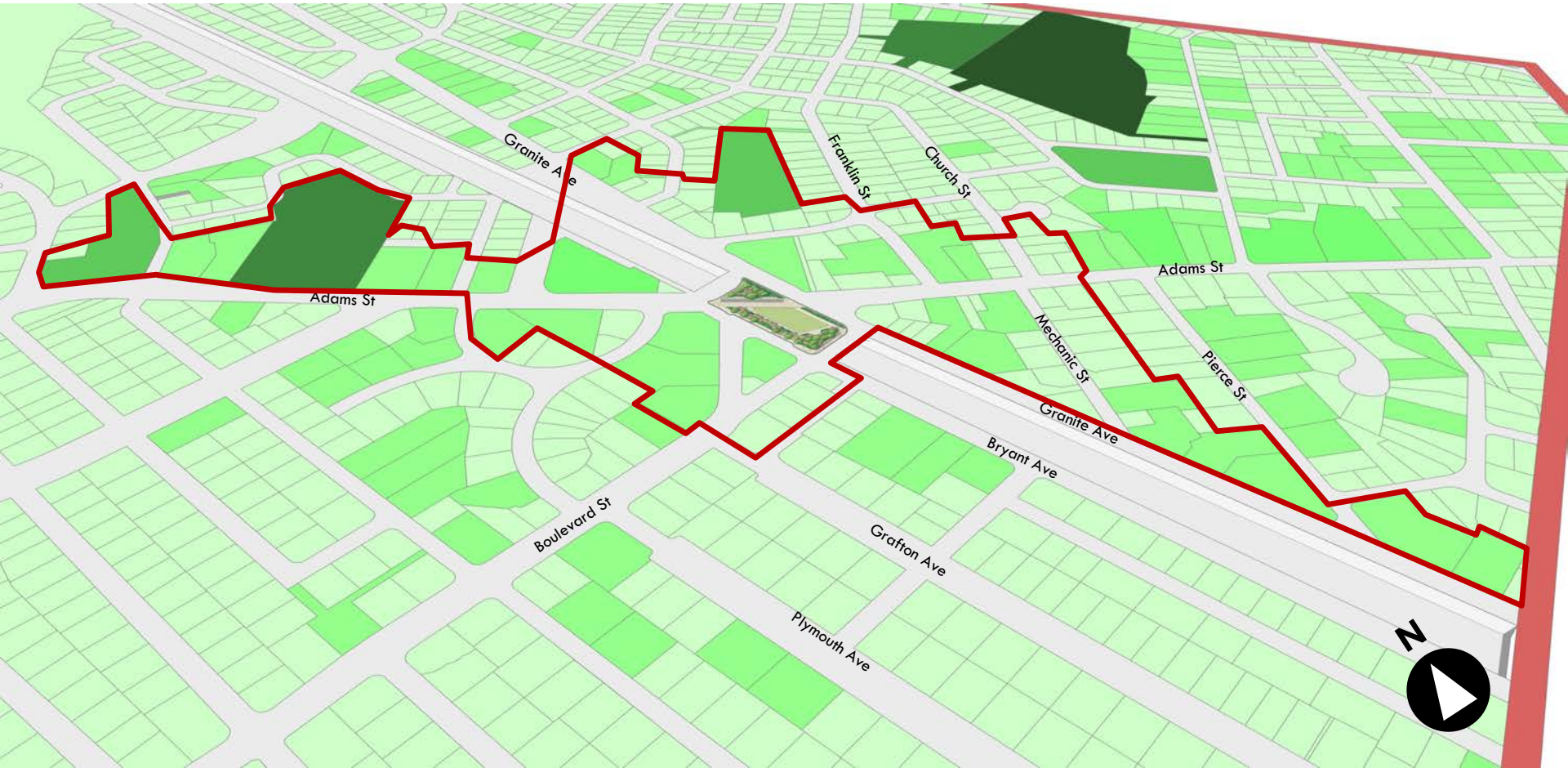
	Mixed-Use Center	Mixed-Use Gateway	Mixed-Use Transitional
Parking Requirements	Commercial: 1/1,000 ft2 (or detail per use) Residential: 1 per dwelling unit Mixed-Use: Calculate shared parking factor for uses Parking Structures: by Site Plan Approval		
Parking Structures	<ul style="list-style-type: none"> • Ground floor liner use required for parking structures • No new parking in front of or beside building except in structures with liner 		<ul style="list-style-type: none"> • Ground floor liner use required for parking structures

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East Milton Square Lot Size

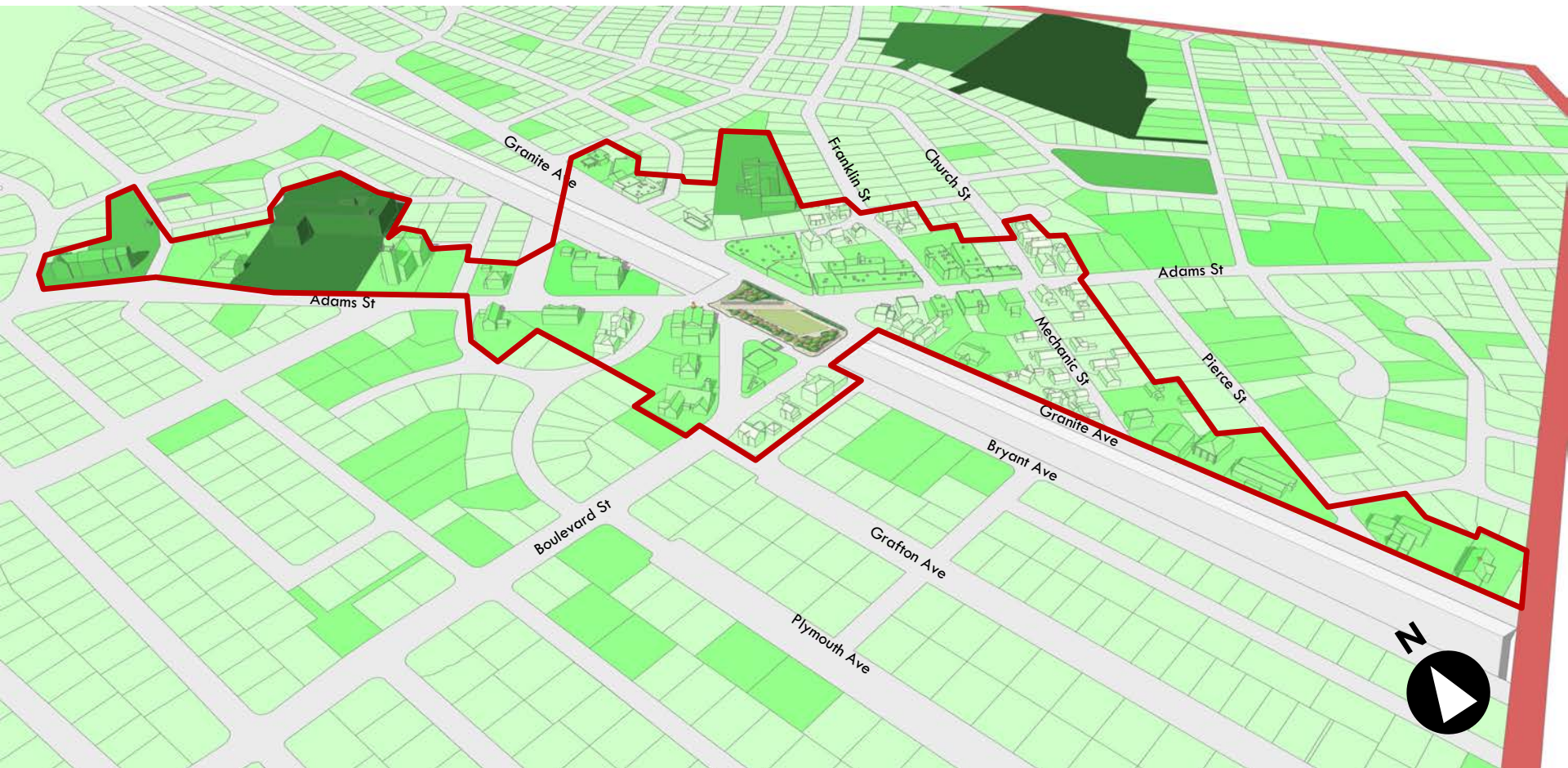


Legend


	Under 10,000 SF		60,001 to 100,000 SF
	10,001 to 30,000 SF		100,001 to 200,000 SF
	30,001 to 60,000 SF		200,000+ SF



East Milton Square Setbacks



Legend

	Under 10,000 SF		60,001 to 100,000 SF
	10,001 to 30,000 SF		100,001 to 200,000 SF
	30,001 to 60,000 SF		200,000+ SF



Poll 3: Potential zoning changes

3 Subtopic: Dimensional standards

- 3F. What option seems most appropriate for lot setbacks?
- 3G. What option seems most appropriate for required open space?

Answer questions through the follow-up online survey at:




<https://bit.ly/EastMiltonSqZoning2023>



East Milton Square Building Height



Legend

- | | | | |
|---|---------------------------|---|-------------|
|  | No building (vacant land) |  | 3/3.5 story |
|  | 1/1.5 story | | |
|  | 2/2.5 story | | |



East Milton Square Building Height



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Poll 3: Potential zoning changes

3 Subtopic: Dimensional standards

- 3H. What options seems most appropriate for building height?

Answer questions through the follow-up online survey at:

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East Milton Square Floor Area Ratio (FAR)



Legend

	0.0 to 0.25		0.76 to 1.00
	0.26 to 0.50		Over 1.01
	0.51 to 0.75		No building



Poll 3: Potential zoning changes

3 Subtopic: Dimensional standards

- 3l. What option seems most appropriate for building density?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



East Milton Square Zoning

Parking

Existing Zoning B

Parking Requirements

- Minimum 1/250 square feet for non-residential uses
- Minimum 2 parking spaces for each residential unit



Poll 3: Potential zoning changes

3 Subtopic: Parking requirements

- 3J. What option seems most appropriate for parking requirements?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



Exploring zoning incentives

- **Require or incentivize green stormwater management** in new construction where possible
- **Incentivize net-zero buildings**, and/or buildings and sites that meet other sustainability metrics
- **Continue to invest in complete streets improvements**
- **Explore traffic-calming measures** in commercial areas and neighboring residential streets
- **Invest in streetscape improvements**
- **Incorporate neighborhood-scale wayfinding**



Poll 3: Potential zoning changes

3 Subtopic: Affordable housing

- 3K. What option seems most appropriate for affordable housing requirements?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



Poll 3: Potential zoning changes

3 Subtopic: Sustainability

- 3L. What option seems most appropriate for integrating sustainability into the zoning?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



Exploring design guidance

- **Potential design principles:**
 - **Maintain and enhance diversity, flexibility and resilience** of uses, of spaces, and of people living in and visiting East Milton Square
 - **Fill gaps** between existing buildings to create a more consistent and lively edge along sidewalks
 - **Use building massing** to shape outdoor spaces.
 - **Place buildings at corners** to define streets and intersections.
 - **Consolidate and share off-street parking** across lot lines.
 - **Improve streetscapes** and enhance livability by minimizing curb cuts.
 - **Build pocket parks** and other small green spaces where possible.



Exploring design guidance

Potential areas of design content:

- **Site** – The location of the building, location of parking, location of access, treatment of ground surfaces
- **Frontage** – The characteristics of the space between the front of the building and the sidewalk
- **Building** – Building shape and form, treatment of ground floor, upper floors, entries, windows, architectural character, roof pitch
- **Parking** – Location of parking, access, screening, landscape
- **Landscape** – Location and purpose of landscape treatments, buffers, screens
- **Signage** – Location and design of signs
- **Other** – Loading and service areas, or other topics



Exploring design guidance

Type of design guidance:

- **Guidelines** – offer suggestions or examples for the design topics under consideration, guidelines are not requirements, offer an additional tool for review and compliance for the reviewing Boards, typically supplement the Bylaw and do not require Town Meeting vote to adopt or revise
- **Standards** – offer design requirements that are measurable for compliance, standards are required and would be incorporated into the Zoning Bylaw and would be part of the Town Meeting vote



Poll 3: Potential zoning changes

3 Subtopic: Potential design guidance

- 3M. What seems most appropriate for the content of design guidance?
- 3N. What seems most appropriate for the type of design guidance?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



East Milton Square Zoning

Type of Approval

- **By right** – use allowed by right when proposed use is normal and expected in the zoning district. Approval is administrative and requires no discretionary approval.
- **Site Plan Review** – use allowed by right with Planning Board review for conditioning and approval of proposed plans for site and building changes (design and layout) and future management of the property. Denial is only allowed if outright violations of the Zoning Bylaw occurs.
- **Special Permit** – discretionary permit for a use not allowed by right. A use can be denied outright for a range of stated public purposes or can impose strict conditions on the site plan and any buildings as well as management of the property.



Poll 3: Potential zoning changes

3 Subtopic: Type of approval

- 3O. In general, what seems most appropriate for the type of approval required?
- 3P. Would you support any of the following approval incentives?
- 3Q. Do you have other comments about potential zoning changes?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



3c

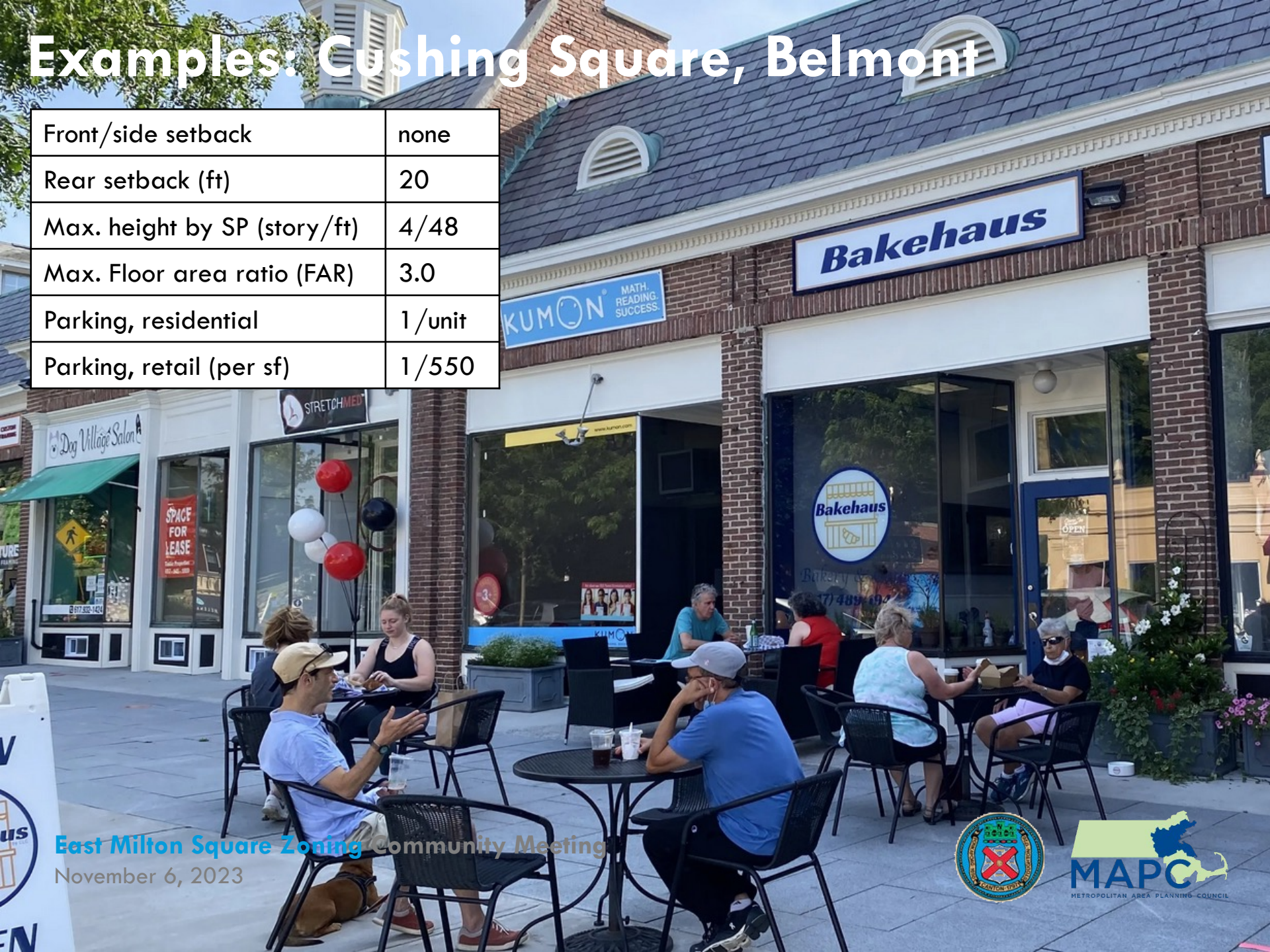
Examples of successful mixed-use zoning

East Milton Square Zoning



Examples: Cushing Square, Belmont

Front/side setback	none
Rear setback (ft)	20
Max. height by SP (story/ft)	4/48
Max. Floor area ratio (FAR)	3.0
Parking, residential	1 /unit
Parking, retail (per sf)	1 /550



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Examples: Cushing Square, Belmont



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Examples: Dedham

Front setback (min) (ft)	2
Max. lot coverage	80%
Max. height (ft)	45
Max. Floor area ratio (FAR)	2.4
Parking, residential	1 /unit
Parking, retail (per sf)	Additional

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Examples: Dedham



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Examples: Reading

Front setback (min/max)	0/10
Min. side/rear setback (ft)	0/15
Max. height by SP (ft)	45
Max. Floor area ratio (FAR)	2.8
Parking, residential	1.5/unit
Parking, retail (per sf)	1/500



Examples: Reading

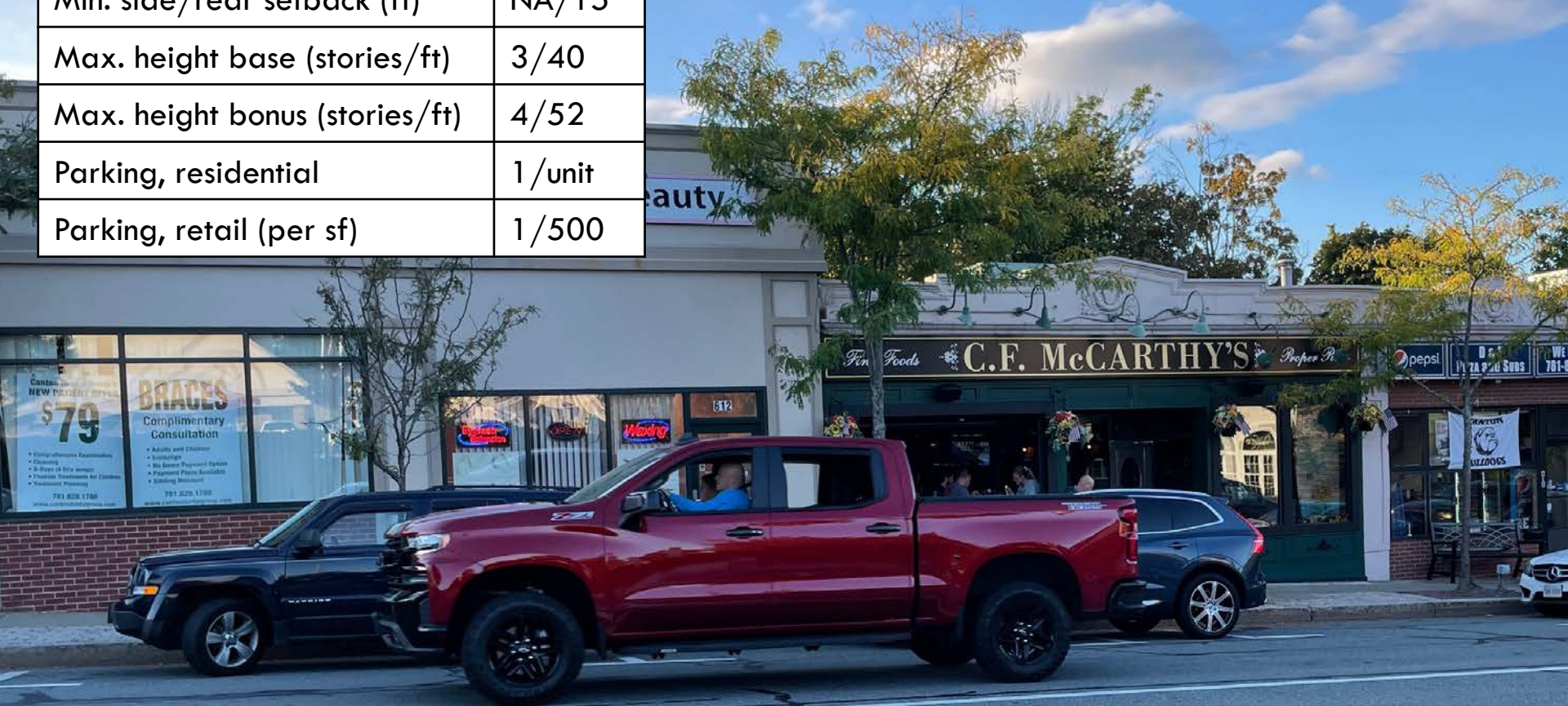


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Examples: Canton Center

Front setback (min/max)	5/15
Min. side/rear setback (ft)	NA/15
Max. height base (stories/ft)	3/40
Max. height bonus (stories/ft)	4/52
Parking, residential	1/unit
Parking, retail (per sf)	1/500



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Examples: Canton Center



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Examples: Milton Village

Lot coverage (max.)	60%
Max. height by SP (story/ft)	4/55
Max. Floor area ratio (FAR)	1.65
Parking, residential	1 /unit
Parking, retail (per sf)	1 /500
Affordable requirement	10%

ms Street

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Examples: Milton Village

Conceptual Plan presented to Select Board in 2021



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Rendering by Derek Rubinoff Architect



Poll 4: Examples of successful mixed-use zoning

- 4A. Is Cushing Square, Belmont a good example?
- 4B. Is Dedham Square a good example?
- 4C. Is downtown Reading a good example?
- 4D. Is Canton Center a good example?
- 4E. Is Milton Village a good example?
- 4F. What other districts or downtowns should Milton review as an exemplary model?

Answer questions through the follow-up online survey at:

<https://bit.ly/EastMiltonSqZoning2023>



3d

Other questions or thoughts

East Milton Square Zoning



Poll 5: Other questions or thoughts

- 5A. Do you have any other questions or comments?

Answer questions through the follow-up online survey at:

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4

Next steps

East Milton Square Zoning



Study Summary

Project Timeline

Task	Month											
	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	July
Phase 1 – Data Review and Kick-off	<div><div></div></div> <div>Stakeholder Interviews</div>											
Phase 2 – Prep of Zoning Concepts		<div><div></div></div> <div></div>										
Phase 3 – Prep of Draft Zoning and Design Guidelines							<div><div></div></div> <div></div>					
Phase 4 – Prep of Final Zoning and Design Guidelines										<div><div></div></div> <div></div>		



Planning Board Meeting



Public Forum

East Milton Square Zoning Community Meeting

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Study Summary

Phase 1 – Data Review and Kick-off

- 1.1 Review of past planning studies
- 1.2 Data analysis
- 1.3 Draft community engagement strategy
- 1.4 Initial considerations of zoning district

Phase 2 – Preparation of Draft Zoning Concepts

- 2.1 Outreach to stakeholders
- 2.2 Development of initial zoning concepts
- 2.3 Presentation of initial zoning concepts

Phase 3 – Preparation of Draft Zoning Language and Design Guidelines

- 3.1 Refinement of zoning and design concepts
- 3.2 Development of zoning language and design guidelines
- 3.3 Presentation of refined zoning

Phase 4 – Preparation of Final Zoning for Preferred Zoning Approach

- 4.1 Finalization of zoning and design guidelines
- 4.2 Preparation for Public Hearings and Town Meeting
- 4.3 Presentation at Public Hearing



Community Forum Follow-up

1. Online survey – duplicate engagement exercises in the meeting
2. Post with meeting presentation and recording of meeting
3. Post on Town website, email to stakeholders
4. Collect responses for about 1 month



Next Steps

- Continue with stakeholder interviews, if interested email ifiala@mapc.org
- Follow-up online survey at:
<https://bit.ly/EastMiltonSqZoning2023>
- Compiling feedback with an initial zoning concept and approach



Zoning for

East Milton Square Milton

Community Meeting

November 6, 2023



Photo: hshassoc.com.com