

VICINITY MAP  
NO SCALE

ABBREVIATIONS

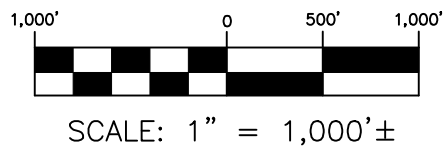
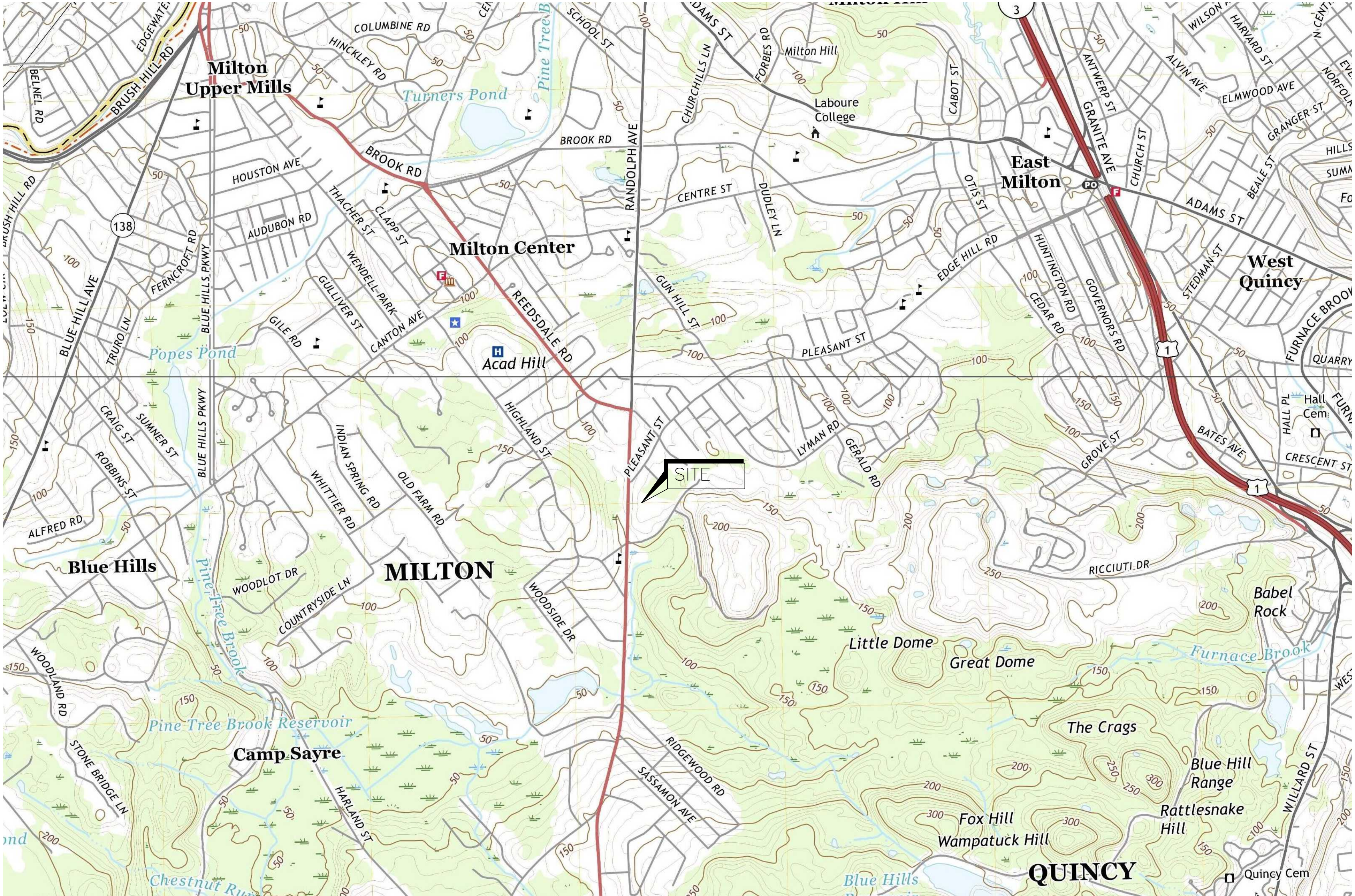
APPROX	APPROXIMATE
BH	BULK HEAD
CB/DH	CONCRETE BOUND/DRILL HOLE
CCB	CAPE COD BERM
CONC	CONCRETE
CBN	CATCH BASIN
D	DRAIN
DMH	DRAINAGE MANHOLE
E	ELECTRIC
EM	ELECTRIC METER
ELEV	ELEVATION
EXIST	EXISTING
FND	FIRST FLOOR ELEVATION
FND	FOUNDATION
G	GAS
GM	GAS METER
I	INVERT
IP	IRON PIPE
IR	IRON ROD
LS	LANDSCAPING
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PCC	PRECAST CONCRETE CURB
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
R	RIM
RCP	REINFORCED CONCRETE PIPE
RD	RADIUS
S	SEWER
SCH	SCHEDULE
TP	TEST PIT
TOF	TOP OF FOUNDATION
TYP	TYPICAL
UP	UTILITY POLE
W	WATER
WS	WATER SERVICE

LEGEND

EXISTING	PROPOSED	
—55—	—100—	CONTOUR ELEVATION
		EROSION CONTROL / LIMIT OF WORK
x100.0	+100.0	SPOT GRADE
(D)	(D)	DRAIN MANHOLE (DMH)
(S)	(S)	CATCH BASIN (CBN)
(S)	(S)	SEWER MANHOLE (SMH)
(UP)	(UP)	UTILITY POLE (UP)
(L)	(L)	LIGHT POLE
(L)	(L)	LIGHT
(S)	(S)	SIGN
(A)	(A)	ADA ACCESSIBLE PARKING
(F)	(F)	FENCE
(R)	(R)	ACCESSIBLE RAMP
(T)	(T)	DECIDUOUS TREE
(C)	(C)	CONIFEROUS TREE
(A)	(A)	ARBORVITAE TREE
(D)	(D)	PROPOSED DOOR

GENERAL NOTES:

- RECORD OWNER: 7-9 PLEASANT STREET FALCONI PROPERTIES, LLC BK. 34877 PG. 533
- DEED REFERENCES: 672 RANDOLPH FALCONI PROPERTIES, LLC BK. 40083 PG. 59
- RECORD PLANS: BK. 671 PG. 342 BK. 502 PG. 737
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF MILTON RESIDENCE C ZONING DISTRICT.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF MILTON FLOOD PLAIN OVERLAY DISTRICT.
- THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. ON MARCH OF 2022, AND PROPOSED CONDITIONS PER THE APPROVED SITE PLAN FOR 7-9 PLEASANT STREET FROM 2019.
- THERE ARE NO KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT.
- THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 0202E DATED 7/17/2012.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE A SURFACE WATER SUPPLY AREA.
- UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVANCE OF ABOVE GROUND UTILITIES AND RECORD LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON EXISTENCE OF ANY OTHER SUCH UTILITIES.
- THE CONTRACTOR SHALL CONTACT DIG SAFE (888-344-7233) AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FIELD CHANGES.
- ALL ELEVATIONS ARE ON AN ASSUMED DATUM.



SITE PLAN APPROVAL

DATE OF APPLICATION: \_\_\_\_\_

DATE OF HEARING: \_\_\_\_\_

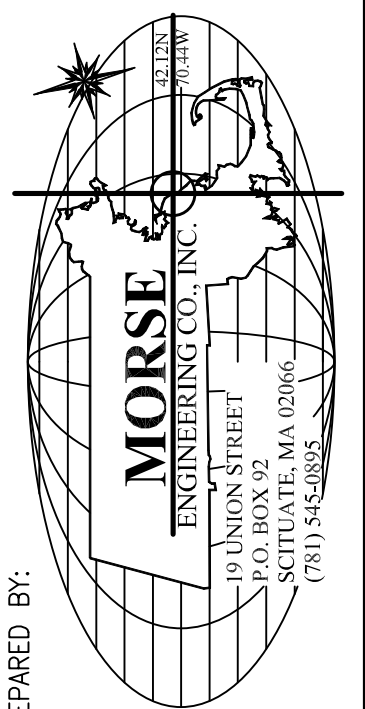
DATE OF APPROVAL: \_\_\_\_\_

DATE OF ENDORSEMENT: \_\_\_\_\_

MILTON PLANNING BOARD

BY:	DESCRIPTION	REV. DATE
PGG	REVISED PARKING LOT & LANDSCAPING	10/20/2023
PGG	ADDED ABUTTER	11/1/2023
PGG	ROTATED PARKING LOT	12/8/2023

PROGRESS  
PRINT  
FOR  
DISCUSSION  
ONLY



PROJECT:	7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 1-4-9 & 1-4-10) MILTON, MASSACHUSETTS
PREPARED FOR:	FALCONI PROPERTIES, LLC

JOB NO:	18-163
SCALE:	1" = 20'

DESIGN:	PGG
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CHK:	GJM & JMH
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DATE:	5/8/2023
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PLAN TITLE:	COVER PAGE
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SHEET:	1 OF 8
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APPLICANT/OWNER

FALCONI PROPERTIES, LLC  
4 FRANKLIN STREET  
MILTON, MA 02186

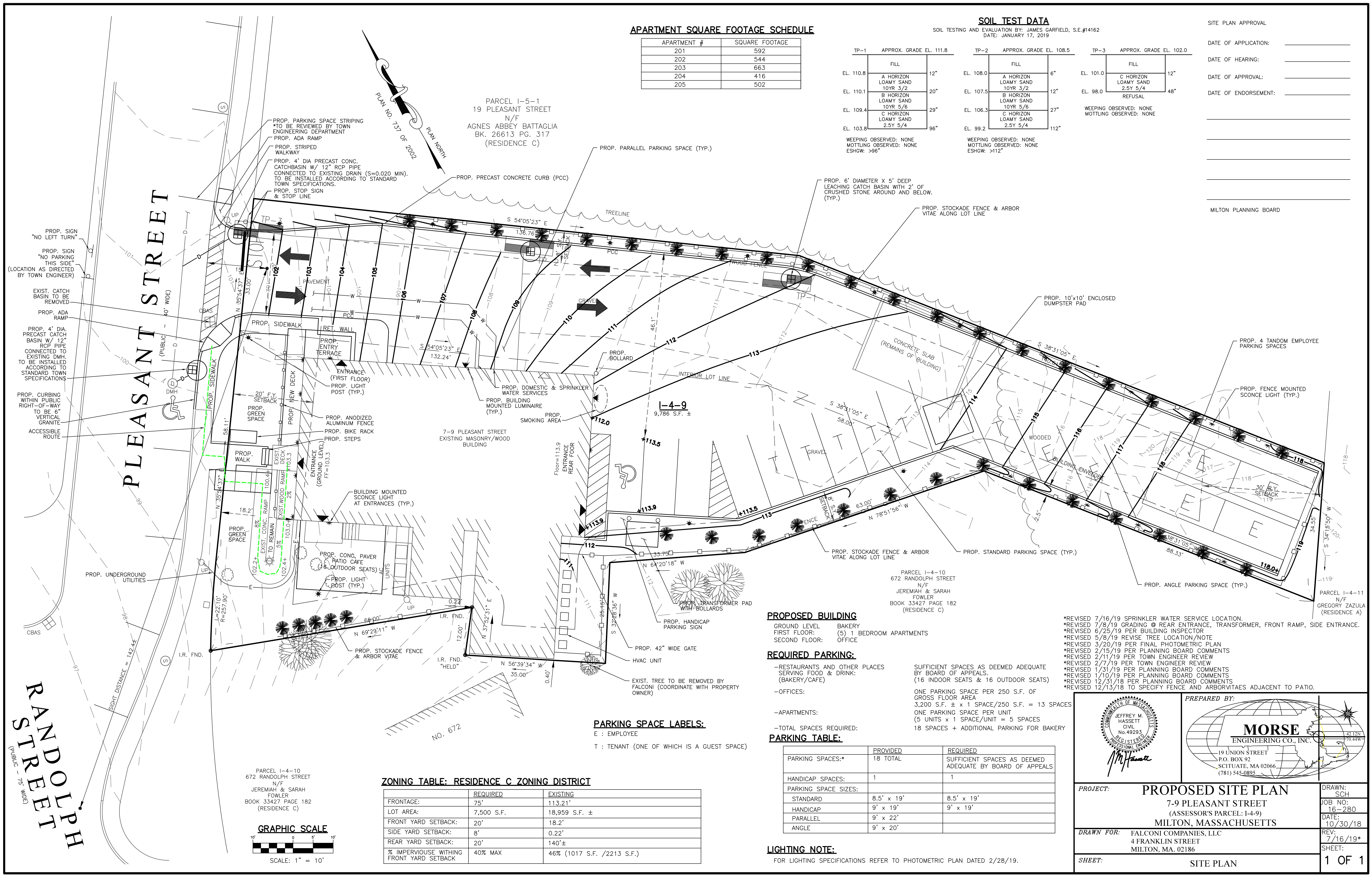
CIVIL ENGINEER / LAND SURVEYOR

MORSE ENGINEERING CO., INC.  
10 NEW DRIFTWAY, SUITE 303  
SCITUATE, MA 02066  
(781) 545-0895

SHEET INDEX

SHEET 1	COVER PAGE
SHEET 2	PREVIOUS SITE PLAN
SHEET 3	EXISTING CONDITIONS
SHEET 4	EROSION & SEDIMENTATION CONTROL
SHEET 5	SITE LAYOUT & LANDSCAPING
SHEET 6	GRADING & UTILITIES
SHEET 7	CULTEC DETAILS
SHEET 8	WATERSHED DELINEATION





APARTMENT SQUARE FOOTAGE SCHEDULE

APARTMENT #	SQUARE FOOTAGE
201	592
202	544
203	663
204	416
205	502

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162  
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE EL. 111.8	TP-2	APPROX. GRADE EL. 108.5	TP-3	APPROX. GRADE EL. 102.0
EL. 110.8	FILL 12"	EL. 108.0	FILL 6"	EL. 101.0	FILL 12"
EL. 110.1	A HORIZON LOAMY SAND 10YR 3/2 20"	EL. 107.5	A HORIZON LOAMY SAND 10YR 3/2 12"	EL. 98.0	C HORIZON LOAMY SAND 2.5Y 5/4 48"
EL. 109.4	B HORIZON LOAMY SAND 10YR 5/6 29"	EL. 106.3	B HORIZON LOAMY SAND 10YR 5/6 27"		REFUSAL
EL. 103.8	C HORIZON LOAMY SAND 2.5Y 5/4 96"	EL. 99.2	C HORIZON LOAMY SAND 2.5Y 5/4 112"		WEEPING OBSERVED: NONE MOTTILING OBSERVED: NONE
	WEEPING OBSERVED: NONE MOTTILING OBSERVED: NONE ESHW: >96"		WEEPING OBSERVED: NONE MOTTILING OBSERVED: NONE ESHW: >112"		

SITE PLAN APPROVAL

DATE OF APPLICATION: \_\_\_\_\_  
DATE OF HEARING: \_\_\_\_\_  
DATE OF APPROVAL: \_\_\_\_\_  
DATE OF ENDORSEMENT: \_\_\_\_\_

MILTON PLANNING BOARD

PROPOSED BUILDING

GROUND LEVEL: BAKERY  
FIRST FLOOR: (5) 1 BEDROOM APARTMENTS  
SECOND FLOOR: OFFICE

REQUIRED PARKING:

-RESTAURANTS AND OTHER PLACES SERVING FOOD & DRINK: (BAKERY/CAFE)

-OFFICES:

-APARTMENTS:

-TOTAL SPACES REQUIRED:

PARKING TABLE:

	PROVIDED	REQUIRED
PARKING SPACES:*	18 TOTAL	SUFFICIENT SPACES AS DEEMED ADEQUATE BY BOARD OF APPEALS
HANDICAP SPACES:	1	1
PARKING SPACE SIZES:		
STANDARD	8.5' x 19'	8.5' x 19'
HANDICAP	9' x 19'	9' x 19'
PARALLEL	9' x 22'	
ANGLE	9' x 20'	

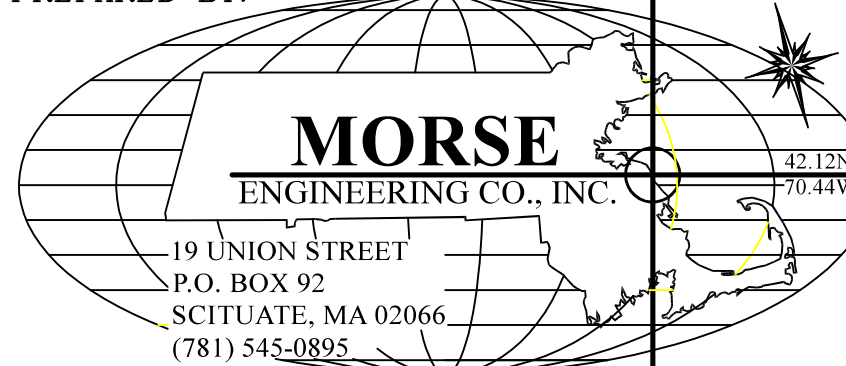
LIGHTING NOTE:

FOR LIGHTING SPECIFICATIONS REFER TO PHOTOMETRIC PLAN DATED 2/28/19.

\*REVISED 7/16/19 SPRINKLER WATER SERVICE LOCATION.  
\*REVISED 7/8/19 GRADING @ REAR ENTRANCE, TRANSFORMER, FRONT RAMP, SIDE ENTRANCE.  
\*REVISED 6/25/19 PER BUILDING INSPECTOR  
\*REVISED 5/8/19 REVISE TREE LOCATION/NOTE  
\*REVISED 3/20/19 PER FINAL PHOTOMETRIC PLAN  
\*REVISED 2/15/19 PER PLANNING BOARD COMMENTS  
\*REVISED 2/11/19 PER TOWN ENGINEER REVIEW  
\*REVISED 2/7/19 PER TOWN ENGINEER REVIEW  
\*REVISED 1/31/19 PER PLANNING BOARD COMMENTS  
\*REVISED 1/10/19 PER PLANNING BOARD COMMENTS  
\*REVISED 12/31/18 PER PLANNING BOARD COMMENTS  
\*REVISED 12/13/18 TO SPECIFY FENCE AND ARBOR/VITAE ADJACENT TO PATIO.



PREPARED BY:



PROJECT: PROPOSED SITE PLAN  
7-9 PLEASANT STREET  
(ASSESSOR'S PARCEL: I-4-9)  
MILTON, MASSACHUSETTS

DRAWN FOR: FALCONI COMPANIES, LLC  
4 FRANKLIN STREET  
MILTON, MA. 02186

SHEET: SITE PLAN

DRAWN: SCH  
JOB NO: 16-280  
DATE: 10/30/18  
REV: 7/16/19\*  
SHEET: 1 OF 1

ZONING TABLE: RESIDENCE C ZONING DISTRICT

	REQUIRED	EXISTING
FRONTAGE:	75'	113.21'
LOT AREA:	7,500 S.F.	18,959 S.F. ±
FRONT YARD SETBACK:	20'	18.2'
SIDE YARD SETBACK:	8'	0.22'
REAR YARD SETBACK:	20'	140'±
% IMPERVIOUS WITHING FRONT YARD SETBACK	40% MAX	46% (1017 S.F. /2213 S.F.)



SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162  
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE EL. 111.8	TP-2	APPROX. GRADE EL. 108.5	TP-3	APPROX. GRADE EL. 102.0
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EL. 110.1	B HORIZON LOAMY SAND 10YR 5/6	EL. 107.5	B HORIZON LOAMY SAND 10YR 5/6	EL. 98.0	REFUSAL
EL. 109.4	C HORIZON LOAMY SAND 2.5Y 5/4	EL. 106.3	C HORIZON LOAMY SAND 2.5Y 5/4		WEEPING OBSERVED: NONE MOTTLING OBSERVED: NONE
EL. 103.8		EL. 99.2			
	WEEPING OBSERVED: NONE MOTTLING OBSERVED: NONE ESHGW: >96"		WEEPING OBSERVED: NONE MOTTLING OBSERVED: NONE ESHGW: >112"		

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: PAUL GRAEME GUNN, SE#14392  
DATE: MAY 3, 2023

TP-A	APPROX. GRADE EL. 113.5	TP-B	APPROX. GRADE EL. 115.0	TP-C	APPROX. GRADE EL. 114.5
	A HORIZON LOAMY SAND 10YR 3/2		A HORIZON LOAMY SAND 10YR 3/2		FILL
EL. 112.5	B HORIZON LOAMY SAND 10YR 5/4	EL. 113.8	B HORIZON LOAMY SAND 10YR 5/4	EL. 108.7	C HORIZON LOAMY SAND 2.5Y 5/2
EL. 110.8	C HORIZON LOAMY SAND 2.5Y 5/2	EL. 112.7	C HORIZON LOAMY SAND 2.5Y 5/2	EL. 107.0	
EL. 106.2	REFUSAL	EL. 105.0			WEEPING OBSERVED: NONE MOTTLING OBSERVED: NONE ESHGW: >90"
	WEEPING OBSERVED: NONE MOTTLING OBSERVED: NONE ESHGW: >88"		WEEPING OBSERVED: NONE MOTTLING OBSERVED: NONE ESHGW: >120"		

SITE PLAN APPROVAL

DATE OF APPLICATION: \_\_\_\_\_

DATE OF HEARING: \_\_\_\_\_

DATE OF APPROVAL: \_\_\_\_\_

DATE OF ENDORSEMENT: \_\_\_\_\_

\_\_\_\_\_

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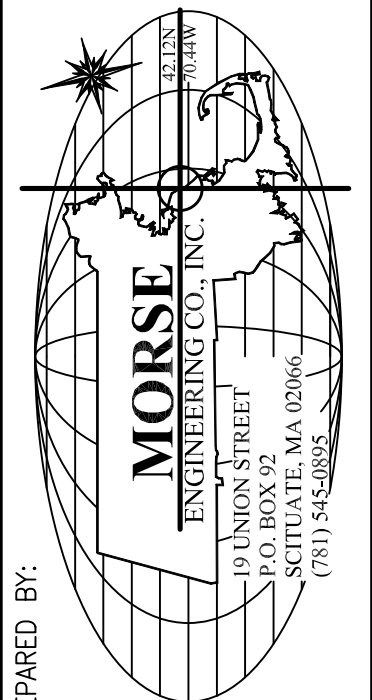
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MILTON PLANNING BOARD

BY:	DESCRIPTION	REV. DATE
PGG	REVISED PARKING LOT & LANDSCAPING	10/20/2023
PGG	ADDED ABUTTER	11/1/2023
PGG	ROTATED PARKING LOT	12/8/2023

PROGRESS  
PRINT  
FOR  
DISCUSSION  
ONLY



PROJECT: 7-9 PLEASANT STREET & 672 RANDOLPH AVE  
(ASSESSOR'S PARCELS: 1-4-9 & 1-4-10)  
MILTON, MASSACHUSETTS

PREPARED FOR: FALCONI PROPERTIES, LLC

JOB NO: 18-163

SCALE: 1" = 20'

DESIGN: PGG

CHK: GJM & JMH

DATE: 5/8/2023

PLAN TITLE:  
EXISTING  
CONDITIONS

SHEET:  
3 OF 8

ZONING TABLE: 7-9 PLEASANT STREET

DESCRIPTION	REQUIRED	EXISTING
FRONTAGE.....	75'	113.21'
LOT AREA.....	7,500 S.F.	18,959± S.F.
FRONT YARD SETBACK.....	20'	18.2'
SIDE YARD SETBACK.....	8'	0.22'
REAR YARD SETBACK.....	20'	140'±
%IMPERVIOUS WITHIN FRONT YARD SETBACK.....	40% MAX	46%

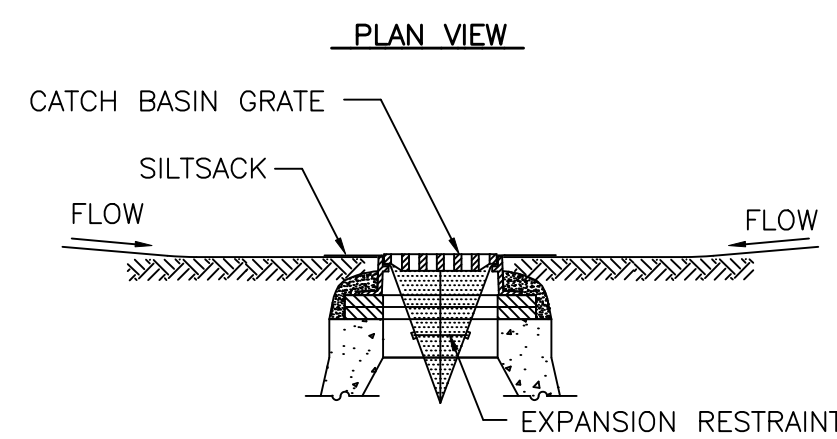
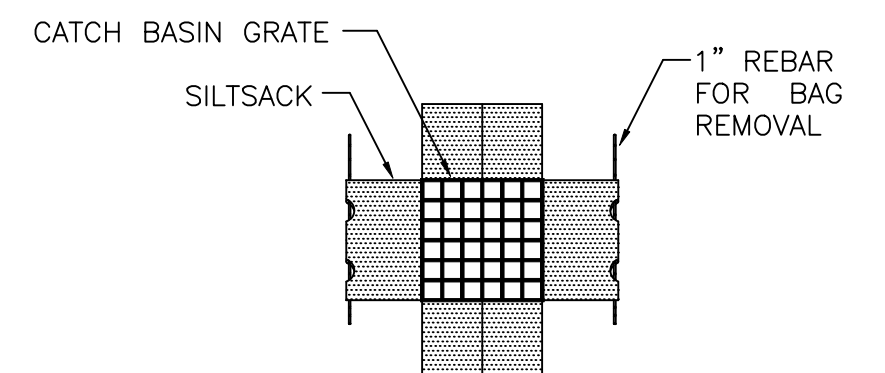
ZONING TABLE: 672 RANDOLPH AVE

DESCRIPTION	REQUIRED	EXISTING
FRONTAGE.....	75'	91.32'
LOT AREA.....	7,500 S.F.	23,758± S.F.
FRONT YARD SETBACK.....	20'	44.0'
SIDE YARD SETBACK.....	8'	5.6'
REAR YARD SETBACK.....	20'	165.3'
%IMPERVIOUS WITHIN FRONT YARD SETBACK.....	40% MAX	17.4%

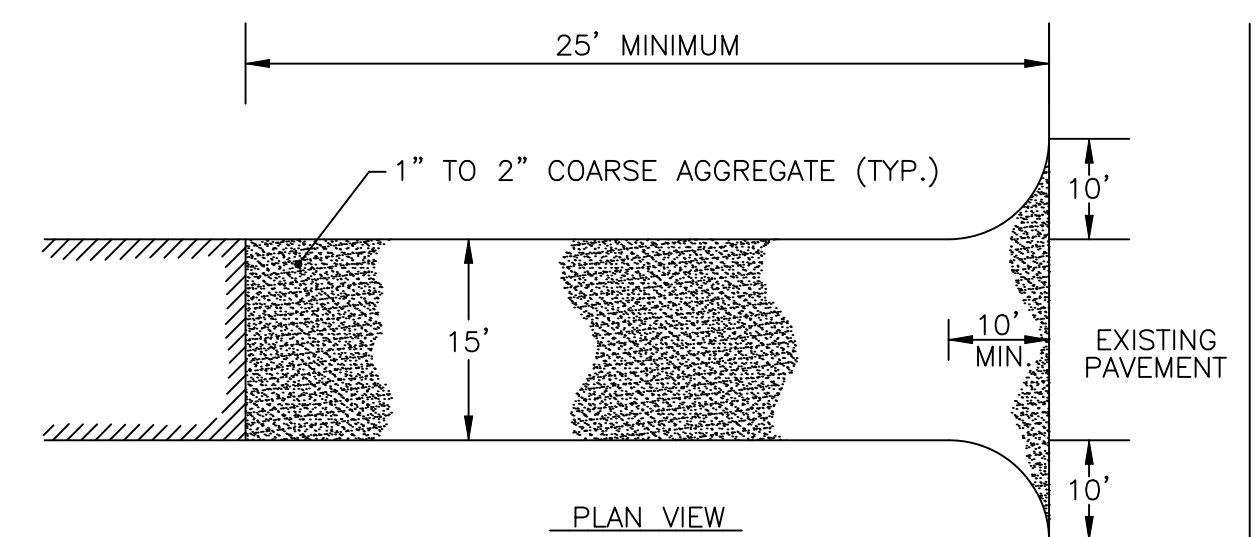
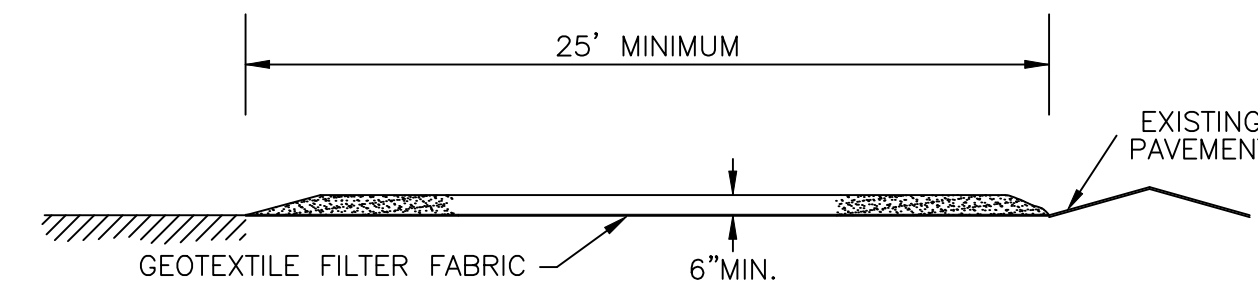
GRAPHIC SCALE



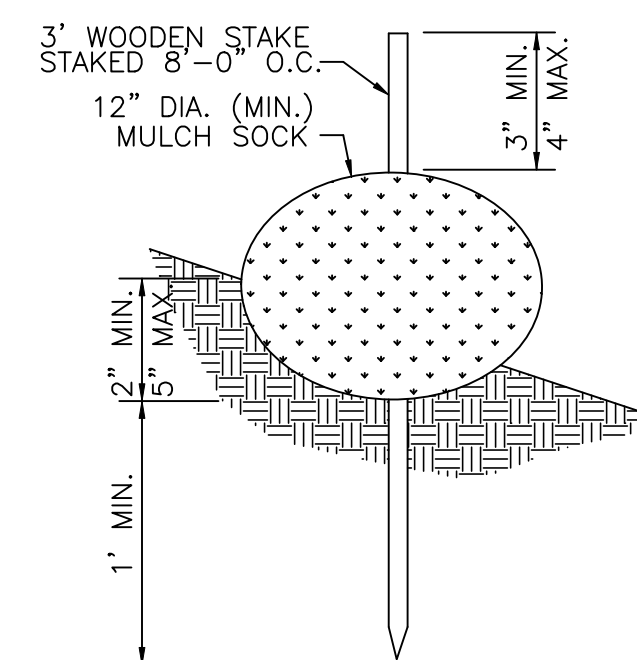
SCALE: 1" = 20'



SILT SACK SEDIMENT TRAP  
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAIL  
NOT TO SCALE



STAKED MULCH SOCK DETAIL  
NOT TO SCALE

### CONSTRUCTION NOTES

1. ALL DISTURBED AREAS OUTSIDE OF PARKING AND ACCESS AREAS ARE TO BE LOAMED AND SEEDED TO PREVENT EROSION.
2. THE CONTRACTOR MUST MAINTAIN A CLEAN JOBSITE AND PREVENT THE MIGRATION OF ANY SEDIMENT OR DEBRIS ONTO NEARBY RIGHT OF WAYS OR ADJUTING PROPERTIES.
3. THE CONTRACTOR SHALL PROTECT ALL PROPERTY AND SURVEY MARKERS AS ENCOUNTERED DURING CONSTRUCTION. IF DISTURBED, THE CONTRACTOR SHALL HAVE BOUNDS RESET BY A PROFESSIONAL LAND SURVEYOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE PROPOSED WORK.
5. THE CONTRACTOR SHALL BE MADE AWARE OF AND COMPLY WITH THE STORMWATER MANAGEMENT SYSTEMS AS DESIGNED.
6. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL COMPONENTS AT THE LOCATIONS SHOWN PRIOR TO ANY LAND DISTURBANCE OR CLEARING.
7. THE CONTRACTOR SHALL INSTALL A CRUSHED STONE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO CONSTRUCTION.

### EROSION CONTROL NOTES

1. ALL EXISTING AND NEWLY INSTALLED CATCH BASINS OVER THE COURSE OF CONSTRUCTION TO BE INSTALLED WITH SEDIMENT TRAPS AND FILTER SACKS TO PREVENT MATERIAL FROM ENTERING DRAINAGE SYSTEMS AND CLOGGING. THESE SHALL REMAIN UNTIL THE SITE IS FULLY STABILIZED, AND BE INSPECTED WITH OTHER EROSION CONTROL MEASURES.
2. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED REGULARLY OR AFTER A STORM EVENT OF 1/2 INCH OR GREATER. INSPECTIONS SHALL BE PERFORMED UNTIL THE SITE IS FULLY STABILIZED AND ANY TEMPORARY SEDIMENTATION CONTROLS HAVE BEEN REMOVED.
3. DURING CONSTRUCTION, STABILIZATION PRACTICES SHOULD BE FOLLOWED. DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED AS SOON AS PRACTICABLE. DISTURBED AREAS SHALL BE STABILIZED WHEN CONSTRUCTION ACTIVITY IN THE AREA HAS CEASED FOR MORE THAN 14 DAYS UNLESS NOT FEASIBLE DUE TO SNOW COVER OR IF CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS AFTER CONSTRUCTION TEMPORARILY CEASED. STABILIZED MEASURES INCLUDE THE FOLLOWING:
  - GEOTEXTILES
  - MULCHING AND NETTING
  - PERMANET SEEDING

IF SEEDING IS NOT USED TO STABILIZE DISTURBED AREAS 6 WEEKS BEFORE FIRST FROST, JUTE MESH OR MULCHING AND NETTING SHOULD BE USED TO STABILIZE THE SITE UNTIL THE NEXT RECOMMENDED SEEDING PERIOD. SEEDING SHOULD TAKE PLACE IN LATE SPRING OR EARLY FALL. DURING THE RECOMMENDED SEEDING SEASON, SEED SHOULD RECEIVE WATERING TWICE A DAY. DURING THE RECOMMENDED SEEDING SEASON, SEED SHOULD RECEIVE WATERING TWICE A DAY, FOR A TOTAL OF 10 INCHES PER WEEK. IF MUSKIEG WATER RESTRICTIONS ARE IN EFFECT THAT LIMIT THE AVAILABILITY OF JUTE MESH OR MULCHING AND NETTING SHOULD BE IMPLEMENTED UNTIL SUCH A TIME THAT SUFFICIENT WATER IS AVAILABLE TO MAINTAIN ANY SEEDING.

### CONSTRUCTION SEQUENCE

TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

1. STABILIZATION AND EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. PLACE BARRIERS, FENCES, TRACKING PADS, AND SILT SACKS AT LOCATIONS INDICATED ON THE SITE PLANS.
2. STRIP AND REMOVE FROM SITE ANY EXISTING CONCRETION, ASPHALT AND DEBRIS. CLEAR REQUIRED VEGETATION.
3. CONSTRUCT CUT AND FILL AREAS. ALL FILL WILL BE INSTALLED USING 12" MAXIMUM COMPACTION LIFTS, AND MATERIAL SHALL BE STOCKPILED ACCORDING TO THE SITE PLAN.
4. INSTALL ALL DRAINAGE SYSTEM COMPONENTS AND OTHER UTILITIES. ALL CATCH BASINS SHALL BE PROTECTED WITH EROSION CONTROLS AS SHOWN ON THE PLANS OR EQUIVALENT INLET PROTECTION UNTIL FINAL SITE STABILIZATION.
5. GRADE SIDEWALKS AND PARKING AREAS TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED.
6. PLACE GRAVEL SUBBASE AND PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON PARKING SURFACES. SET CATCH BASIN GRATES FLUSH WITH THE BINDER COURSE. INSTALL SILT SACKS ON NEWLY INSTALLED CATCH BASINS.
7. GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES. BLEND ALL SLOPES INTO EXISTING TOPOGRAPHY AND LOAM AND SEED ALL DISTURBED AREAS. USE TEMPORARY STABILIZATION MEASURES AS DIRECTED.
8. COMPLETE FINE GRADING AND LANDSCAPING OF THE SITE, INCLUDING CURBING AND LANDSCAPING AS INDICATED.
9. PAVE PARKING LOT. COMPLETE ANY REMAINING PLANTING OR LANDSCAPING.
10. ACTIVATE DRAINAGE SYSTEMS WHEN ALL TRIBUTARY AREAS ARE STABILIZED.
11. REMOVE TEMPORARY EROSION CONTROL DEVICES ONCE ADEQUATE GROWTH IS ESTABLISHED. ADEQUATE GROWTH IS DEFINED AS VEGETATION COVERING 75% OR MORE OF THE GROUND SURFACE.

SITE PLAN APPROVAL

DATE OF APPLICATION: \_\_\_\_\_

DATE OF HEARING: \_\_\_\_\_

DATE OF APPROVAL: \_\_\_\_\_

DATE OF ENDORSEMENT: \_\_\_\_\_

MILTON PLANNING BOARD

<p>UNCL. FIELD DT.:</p>		<p>PROGRESS PRINT FOR DISCUSSION ONLY</p>		<p>REV. DATE</p> <p>11/1/2023</p> <p>12/8/2023</p>		<p>DESCRIPTION</p> <p>REVISED PARKING LOT &amp; LANDSCAPING</p> <p>ADDED ABUTTER</p> <p>ROTATED PARKING LOT</p>		<p>DATE</p>	
<p>7-9 PLEASANT STREET &amp; 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 1-4-9 &amp; 1-4-10) MILTON, MASSACHUSETTS</p>		<p>FALCONI PROPERTIES, LLC</p>		<p>18-163</p>		<p>1" = 20'</p>		<p>PGG</p>	
<p>JOB NO:</p>		<p>SCALE:</p>		<p>DESIGN:</p>		<p>CHECK:</p>		<p>DATE:</p>	
<p>PREPARED FOR:</p>		<p>PLAN TITLE:</p>		<p>5/8/2023</p>		<p>GJM &amp; JMH</p>		<p>PGG</p>	
<p>EROSION CONTROL</p>		<p>SHEET:</p>		<p>4 OF 8</p>		<p>PGG</p>		<p>PGG</p>	



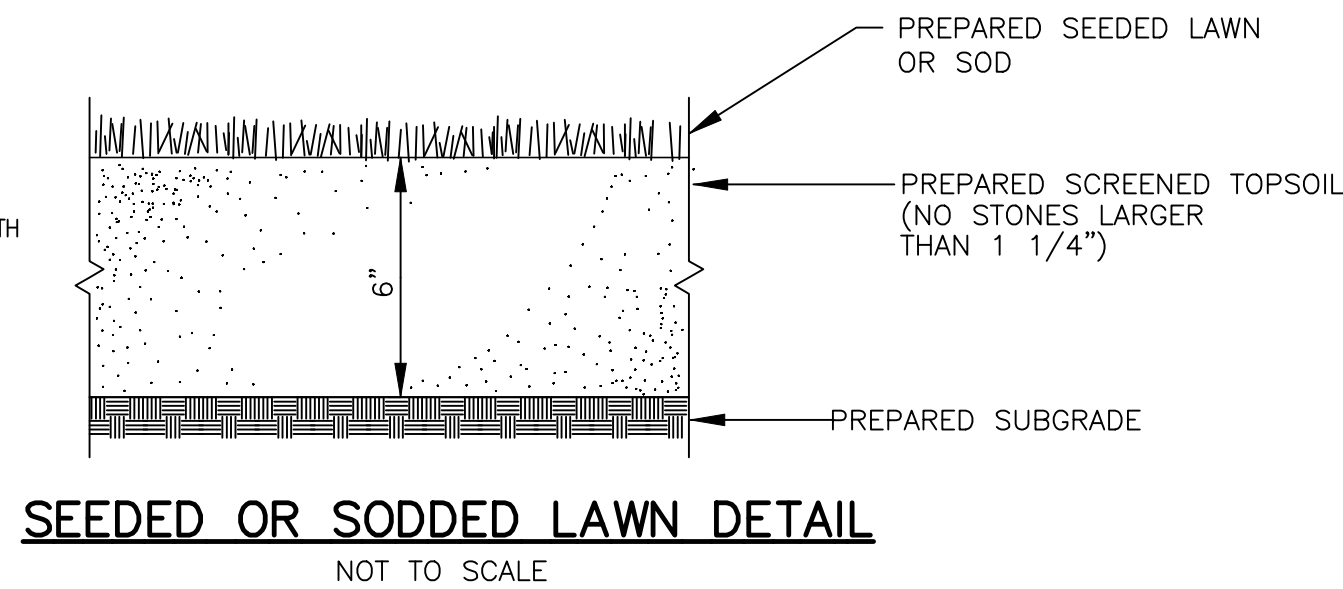


Diagram illustrating the dimensions of the wall structure:

- Overall height: 19.0'
- Stall width: 8.5'
- Stripe width: 4" WIDE PAINTED WHITE STRIPES

1 1/2" BITUMINOUS CONCRETE SURFACE TYPE I-1 (OVERLAY)

2" BITUMINOUS CONCRETE BINDER TYPE I-1

15" MIN. PROCESSED GRAVEL BASE (TYPE C GRAVEL BORROW PER MASS DOT SPEC. M1.03.1)

SUBGRADE

PAVEMENT DIMENSIONS  
REFER TO THIS POINT

PARKING LOT  
SURFACE AS  
SPECIFIED

R1"

6"

3"

FINISH GRADE

6"

4"

9'1"

BASE AS  
SPECIFIED

STABILIZED  
SUBGRADE AS  
SPECIFIED

NOTE:  
ALL CURBING TO BE 3000  
PSI 28 DAY CONCRETE

Diagram illustrating the cross-section of a concrete curb and its supporting layers. The curb is shown with a top width of 6 inches and a base width of 3 inches. The curb height is 4 inches. The base layer is 6 inches thick. The stabilized subgrade is 9 feet 1 inch thick. The diagram also shows the parking lot surface as specified, the finish grade, and the base as specified. A note indicates that all curbing is to be 3000 PSI 28 day concrete.

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONTAGE.....	75'	113.21'	NO CHANGE
LOT AREA.....	7,500 S.F.	18,959± S.F.	NO CHANGE
FRONT YARD SETBACK.....	20'	18.2'	NO CHANGE
SIDE YARD SETBACK.....	8'	0.22'	NO CHANGE
REAR YARD SETBACK.....	20'	140'±	NO CHANGE
IMPERVIOUS WITHIN			
FRONT YARD SETBACK.....	40% MAX	46%	NO CHANGE

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONTAGE.....	75'	91.32'	NO CHANGE
LOT AREA.....	7,500 S.F.	23,758± S.F.	NO CHANGE
FRONT YARD SETBACK.....	20'	44.0'	NO CHANGE
SIDE YARD SETBACK.....	8'	5.6'	NO CHANGE
REAR YARD SETBACK.....	20'	165.3'	NO CHANGE
%IMPERVIOUS WITHIN			
FRONT YARD SETBACK.....	40% MAX	17.4%	NO CHANGE

MILTON PLANNING BOARD

DESCRIPTION	REQUIRED
RESTAURANT & OTHER PLACES	SUFFICIENT SPACES AS DEEMED ADEQUATE
SERVING FOOD & DRINK (BAKERY/CAFE).....	BY BOARD OF APPEALS
OFFICES.....	1 SPACE / 250 S.F. GROSS FLOOR AREA
APARTMENTS.....	1 SPACE / UNIT

$$\text{REQUIRED PARKING} = (3,850 \text{ S.F.})(1 \text{ SPACE}/250 \text{ S.F.}) + (5 \text{ UNITS})(1 \text{ SPACE}/\text{UNIT}) = 20.4 \text{ SPACES} + \text{ADDITIONAL PARKING FOR BAKERY}$$

EXISTING PARKING = 16 SPACES  
PROPOSED TOTAL PARKING = 26 SPACES

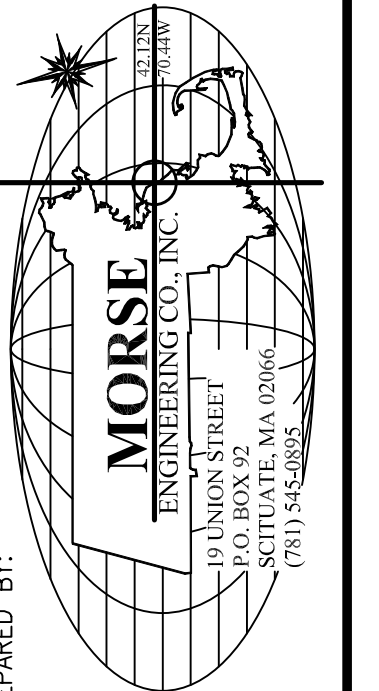
**PARKING SETBACK REQUIREMENTS**  
ANY PARKING AREA FOR 20 OR MORE AUTOMOBILES SHALL BE SETBACK BACK... AT LEAST 20 FEET FROM ANY FRONT, SIDE, OR REAR LOT LINE IN A RESIDENCE C DISTRICT. FOR THE PURPOSES OF THIS SECTION LOT LINES BETWEEN LOTS IN COMMON OWNERSHIP SHALL BE DISREGARDED.

1. ANY PARKING FOR MORE THAN 5 AUTOMOBILES SHALL HAVE YEAR ROUND, STABLE, PERMANENT SURFACES AND ADEQUATE DRAINAGE. RUNOFF SHALL NOT ADVERSELY IMPACT WETLAND AREAS OR ADJOINING PROPERTIES.
2. PARKING SPACES FOR THE EXCLUSIVE USE OF HANDICAPPED INDIVIDUALS SHALL BE PROVIDED IN ACCORDANCE WITH THE MOST RECENT RULES AND REGULATIONS OF THE ARCHITECTURAL BARRIERS BOARD.
3. OFF-STREET PARKING AREAS MAY BE DESIGNED TO ALLOW UP TO A MAXIMUM OF 25% OF THE TOTAL NUMBER OF PARKING SPACES TO BE USED BY COMPACT CARS. COMPACT CARS SHALL NOT BE LESS THAN 8-FT BY 16-FT.
4. THE MINIMUM AISLE WIDTH OF MANEUVERING AISLES WITHIN PARKING AREAS SHALL BE 20-FT FOR TWO-WAY TRAFFIC AND 12-FT FOR ONE-WAY TRAFFIC.
5. PARKING SPACES SHALL MEASURE AT LEAST 8.5' x 19', AND SHALL NOT MEASURE LESS THAN 16.5' IF SUITABLE PROVISION IS MADE FOR FRONT OR REAR OVERHANG. PARALLEL PARKING SPACES SHALL BE AT LEAST 22-FT IN LENGTH.
6. PARKING AREAS SHALL BE DESIGNED SO THAT EACH VEHICLE MAY PROCEED TO AND FROM ITS PARKING SPACE WITHOUT REQUIRING THE MOVEMENT OF ANY OTHER VEHICLES. NO SPACES SHALL BE DESIGNED AS TO REQUIRE BACKING OR MANEUVERING ON A SIDEWALK.
7. PARKING AREAS WITH GREATER THAN 5 SPACES IN THE RESIDENCE C DISTRICT SHALL BE SCREENED FROM THE STREET OR ADJOINING LOTS WITH SHRUBS AND TREES. THE USE OF VEGETATED BERMS MAY BE USED TO PROVIDE SCREENING.
8. NO PARKING AREA SHALL COVER MORE THAN 25,000 S.F. PROVIDED THAT MORE THAN ONE PARKING AREA MAY BE CONSTRUCTED WITH ADEQUATE SEPARATION, LANDSCAPING, AND GROUND COVER. ONE TREE SHALL BE PROVIDED FOR EVERY 5 SPACES IN MULTIPLE PARKING AREAS. PARKING AREAS MAY BE CONNECTED WITH EACH OTHER BY DRIVEWAYS NOT IN EXCESS OF 20-FOOT WIDE AND BY PEDESTRIAN WALKWAYS NO IN EXCESS OF 8-FOOT WIDE.
9. PARKING AREAS WILL BE DESIGNED TO BE COMPATIBLE WITH TERRAIN AND FEATURES OF SURROUNDING LAND AND SHALL AVOID EXTREME CUTS AND/OR FILLS, AND THE UNNECESSARY REMOVAL OF TREES WITH A TRUNK DIAMETER OF 8 INCHES OR MORE.
10. OFF-STREET LIGHT OVERSPILL FROM ANY LIGHTING OF PARKING AREAS SHALL BE CONTROLLED THROUGH THE SELECTION OF LIGHTING, ITS POSITIONING AND MOUNTING HEIGHT SO AS TO NOT UNNECESSARILY ADD TO ILLUMINATION LEVELS ON ADJACENT LOTS NOT IN COMMON OWNERSHIP.
  - LIGHT STANDARDS SHALL NOT EXCEED 18-FT. IN HEIGHT.
  - OFF-STREET LIGHT OVERSPILL SHALL NOT ADD MORE THAN  $\frac{1}{2}$  FT. CANDLE INCREASE IN ILLUMINATION LEVELS.
  - OFF-STREET LIGHT OVERSPILL ONTO ADJACENT LOT NOT IN COMMON OWNERSHIP FROM HEADLIGHTS OF VEHICLES SHALL BE MINIMIZED. FENCES MAY BE USED UNDER CIRCUMSTANCES WHERE OTHER MEANS OF CONTROLLING SPILL OFF ARE NOT PRACTICABLE.
11. PARKING FOR BUSES SHALL BE VISIBLE FROM ANY NEIGHBORING DWELLING, AND SHALL NOT BE DESIGNED TO BACK UP ONTO PEDESTRIAN AREAS IN ORDER TO TURN AROUND.
12. PARKING FACILITIES PROVIDED IN AN ENCLOSED STRUCTURE SHALL MEET ALL REQUIREMENTS OF THE STATE BUILDING CODE AND OTHER APPLICABLE LAW AND SHALL BE SUBJECT THE REQUIREMENTS OF THE BYLAW REGARDING BUILDINGS EXCEPT THAT THERE SHALL BE NO PARKING REQUIRED FOR SUCH A STRUCTURE.

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONTAGE.....	75'	113.21'	NO CHANGE
LOT AREA.....	7,500 S.F.	18,959± S.F.	NO CHANGE
FRONT YARD SETBACK.....	20'	18.2'	NO CHANGE
SIDE YARD SETBACK.....	8'	0.22'	NO CHANGE
REAR YARD SETBACK.....	20'	140'±	NO CHANGE
IMPERVIOUS WITHIN			
FRONT YARD SETBACK.....	40% MAX	46%	NO CHANGE

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
FRONTAGE.....	75'	91.32'	NO CHANGE
LOT AREA.....	7,500 S.F.	23,758± S.F.	NO CHANGE
FRONT YARD SETBACK.....	20'	44.0'	NO CHANGE
SIDE YARD SETBACK.....	8'	5.6'	NO CHANGE
REAR YARD SETBACK.....	20'	165.3'	NO CHANGE
%IMPERVIOUS WITHIN			
FRONT YARD SETBACK.....	40% MAX	17.4%	NO CHANGE

PROGRESS  
PRINT  
FOR  
DISCUSSION  
ONLY



PREPARED BY:

7-9 PLEASANT STREET & 672 RANDOLPH AVE  
(ASSESSOR'S PARCELS: 14-9 & 14-10)  
MILTON, MASSACHUSETTS

FALCONI PROPERTIES, LLC

1

JOB NO:

SCALE: 1" = 20'

DESIGN: 500

CHK:

DATE: \_\_\_\_\_

PLAN TITLE:	5/8/2023
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## SITE LAYOUT & LANDSCAPING

SHEET:

5 OF 8





## SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162  
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE EL. 111.8
EL. 110.8	FILL
EL. 110.1	A HORIZON LOAMY SAND 10YR 3/2
EL. 109.4	B HORIZON LOAMY SAND 10YR 5/6
EL. 103.8	C HORIZON LOAMY SAND 2.5Y 5/4

WEEPING OBSERVED: NONE  
MOTTLING OBSERVED: NONE  
ESHW: >96"

TP-2	APPROX. GRADE EL. 108.5
EL. 108.0	FILL
EL. 107.5	A HORIZON LOAMY SAND 10YR 3/2
EL. 106.3	B HORIZON LOAMY SAND 10YR 5/6
EL. 99.2	C HORIZON LOAMY SAND 2.5Y 5/4

WEEPING OBSERVED: NONE  
MOTTLING OBSERVED: NONE  
ESHW: >112"

TP-3	APPROX. GRADE EL. 102.0
EL. 101.0	FILL
EL. 98.0	C HORIZON LOAMY SAND 2.5Y 5/4
REFUSAL	

WEEPING OBSERVED: NONE  
MOTTLING OBSERVED: NONE

TP-A	APPROX. GRADE EL. 113.5
EL. 112.5	A HORIZON LOAMY SAND 10YR 3/2
EL. 110.8	B HORIZON LOAMY SAND 10YR 5/4
EL. 106.2	C HORIZON LOAMY SAND 2.5Y 5/2

WEEPING OBSERVED: NONE  
MOTTLING OBSERVED: NONE  
ESHW: >88"

TP-B	APPROX. GRADE EL. 115.0
EL. 113.8	A HORIZON LOAMY SAND 10YR 3/2
EL. 112.7	B HORIZON LOAMY SAND 10YR 5/4
EL. 105.0	C HORIZON LOAMY SAND 2.5Y 5/2

WEEPING OBSERVED: NONE  
MOTTLING OBSERVED: NONE  
ESHW: >120"

TP-C	APPROX. GRADE EL. 114.5
EL. 108.7	FILL
EL. 107.0	C HORIZON LOAMY SAND 2.5Y 5/2

WEEPING OBSERVED: NONE  
MOTTLING OBSERVED: NONE  
ESHW: >90"

SITE PLAN APPROVAL

DATE OF APPLICATION: \_\_\_\_\_

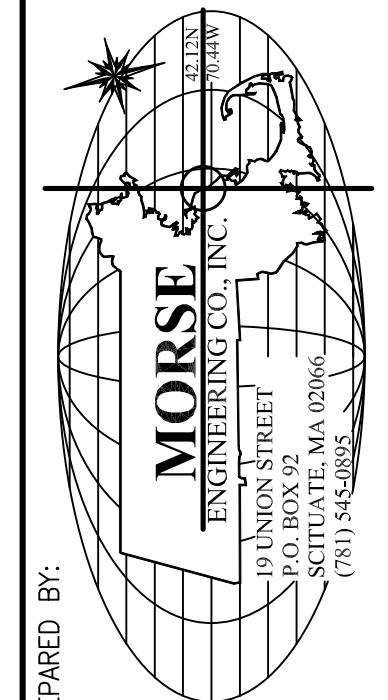
DATE OF HEARING: \_\_\_\_\_

DATE OF APPROVAL: \_\_\_\_\_

DATE OF ENDORSEMENT: \_\_\_\_\_

MILTON PLANNING BOARD

BY:	DESCRIPTION	REV. DATE
PGG	REVISED PARKING LOT & LANDSCAPING	10/20/2023
PGG	ADDED ABUTTER	11/1/2023
PGG	ROTATED PARKING LOT	12/8/2023

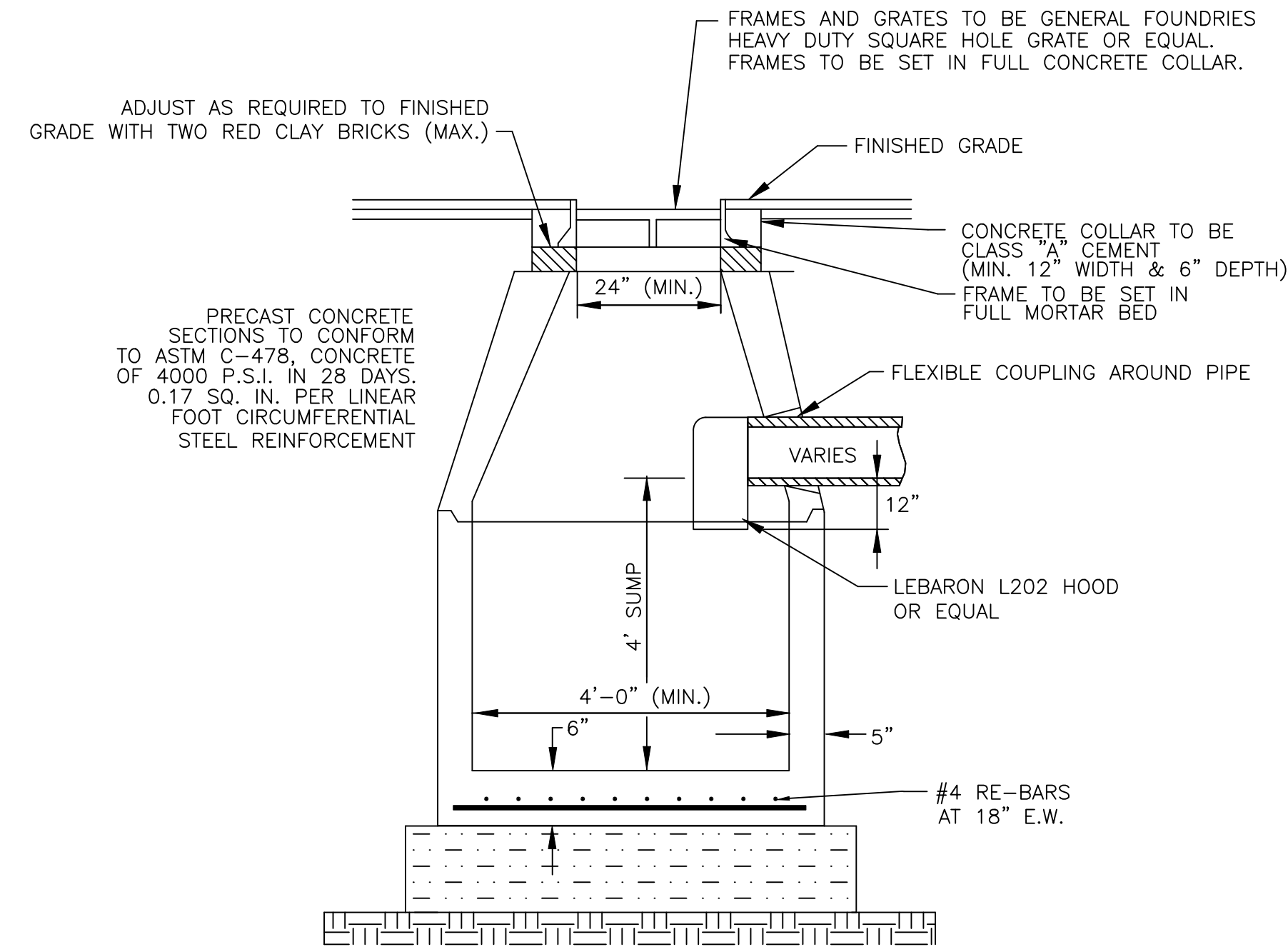
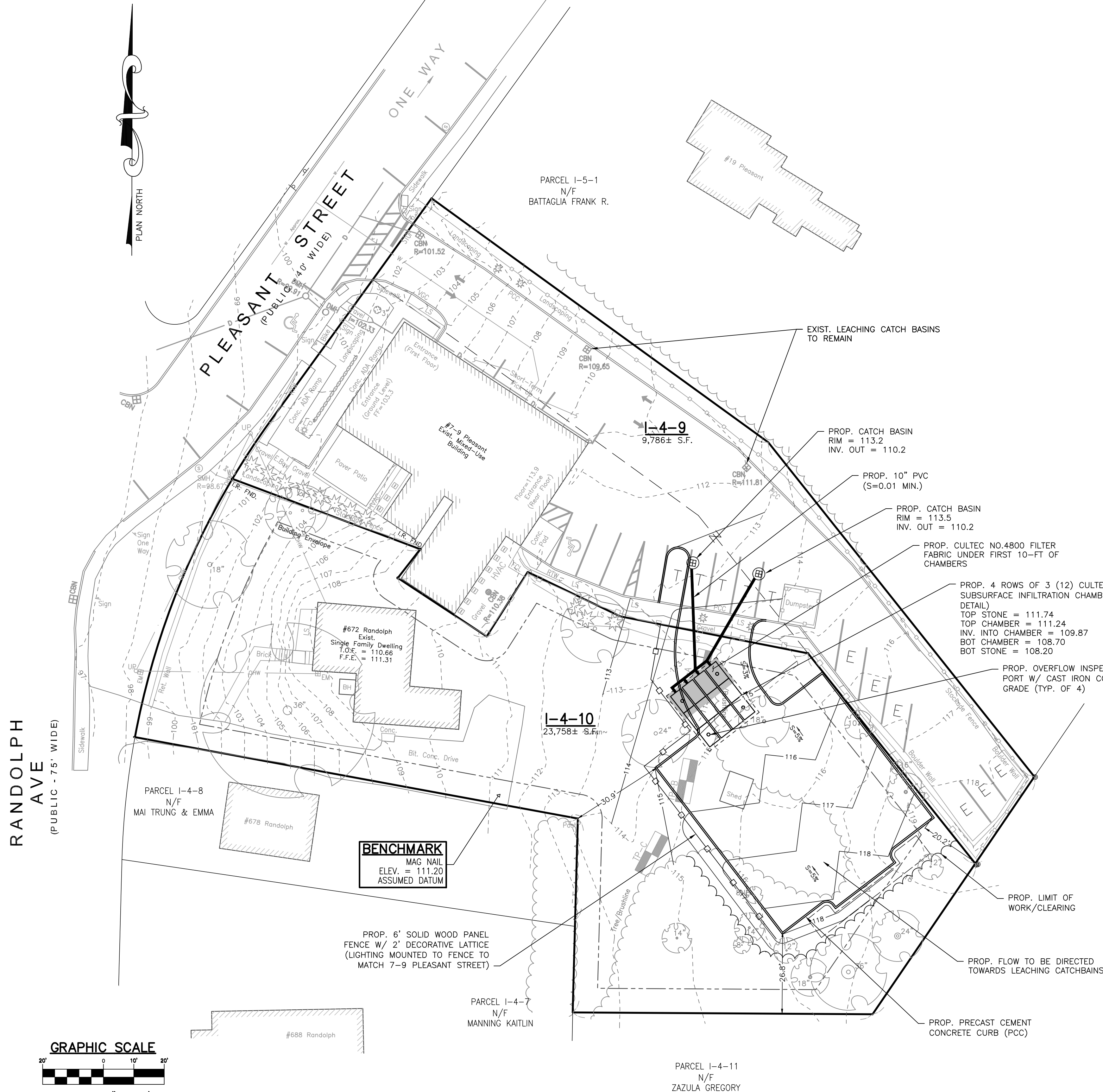
PROGRESS  
PRINT  
FOR  
DISCUSSION  
ONLY

PREPARED BY:

PROJECT:  
7-9 PLEASANT STREET & 672 RANDOLPH AVE  
(ASSESSOR'S PARCELS: 1-4-9 & 1-4-10)  
MILTON, MASSACHUSETTSPREPARED FOR:  
FALCONI PROPERTIES, LLC

JOB NO:	18-163
SCALE:	1" = 20'
DESIGN:	PGG
CHK:	GJM & JMH
DATE:	5/8/2023
PLAN TITLE:	GRADING & UTILITIES
SHEET:	6 OF 8

## SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: PAUL GRAEME GUNN, SE#14392  
DATE: MAY 3, 2023

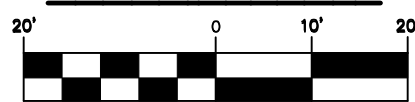
## STORM DRAIN NOTES:

1. DRAIN PIPE TO BE 10" SDR-35 PIPE.
2. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-180D METHOD.
3. SHEETING, IF USED, SHALL BE CUT OFF NO MORE THAN 12" ABOVE TOP OF PIPE.
4. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
5. BRICKS SHALL BE RED CLAY.

## STANDARD CATCH BASIN DETAIL

NOT TO SCALE

## GRAPHIC SCALE



SCALE: 1" = 20'



CULTEC RECHARGER® 330XLHD PRODUCT SPECIFICATIONS

GENERAL

CULTEC RECHARGER 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

- THE CHAMBERS SHALL BE MANUFACTURED BY CULTEC, INC., OF BROOKFIELD, CT, USA. (203-775-4416 OR 1-800-428-5832)
- THE CHAMBER SHALL BE VACUUM THERMOFORMED OF HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) WITH A BLACK INTERIOR AND BLUE EXTERIOR.
- THE CHAMBER SHALL BE ARCHED IN SHAPE.
- THE CHAMBER SHALL BE OPEN-BOTTOMED.
- THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 330XLHD SHALL BE 30.5 INCHES (775 mm) TALL, 52 INCHES (1321 mm) WIDE AND 8.5 FEET (2.59 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 330XLHD SHALL BE 7 FEET (2.13 m).
- MAXIMUM INLET OPENING ON THE CHAMBER ENDWALL IS 24 INCHES (600 mm) HDPE.
- THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. THE NOMINAL DIMENSIONS OF EACH SIDE PORTAL SHALL BE 10.5 INCHES (267 mm) HIGH BY 11.5 INCHES (292 mm) WIDE. MAXIMUM ALLOWABLE OUTER DIAMETER (O.D.) PIPE SIZE IN THE SIDE PORTAL IS 11.75 INCHES (298 mm).
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 16 INCHES (406 mm) WIDE AND 24.2 INCHES (614 mm) LONG.
- THE NOMINAL STORAGE VOLUME OF THE RECHARGER 330XLHD CHAMBER SHALL BE 7.459 FT³ / FT (0.693 m³ / m) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER 330XLHD SHALL BE 52.213 FT³ / UNIT (1.478 m³ / UNIT) - WITHOUT STONE.

- THE NOMINAL STORAGE VOLUME OF THE HVLV FC-24 FEED CONNECTOR SHALL BE 0.913 FT³ / FT (0.085 m³ / m) - WITHOUT STONE.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
- THE RECHARGER 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
- THE ENDWALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
- THE RECHARGER 330XLHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL ENDWALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE RECHARGER 330XLHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
- THE RECHARGER 330XLHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN ENDWALL AND ONE PARTIALLY FORMED INTEGRAL ENDWALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 mm) HIGH X 34.5 INCHES (876 mm) WIDE.
- THE RECHARGER 330XLHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL ENDWALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
- THE RECHARGER FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- THE CHAMBER SHALL HAVE A 6 INCH (152 mm) DIAMETER RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
- MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12 FEET (3.66 m) THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

CULTEC NO. 4800™ WOVEN GEOTEXTILE

CULTEC NO. 4800 WOVEN GEOTEXTILE IS DESIGNED AS A UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTEC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTEC MANIFOLD FEATURE. IT MAY ALSO BE USED AS A COMPONENT OF THE CULTEC SEPARATOR ROW TO ACT AS A BARRIER TO PREVENT SOIL/CONTAMINANT INTRUSION INTO THE STONE WHILE ALLOWING FOR MAINTENANCE.

GEOTEXTILE PARAMETERS

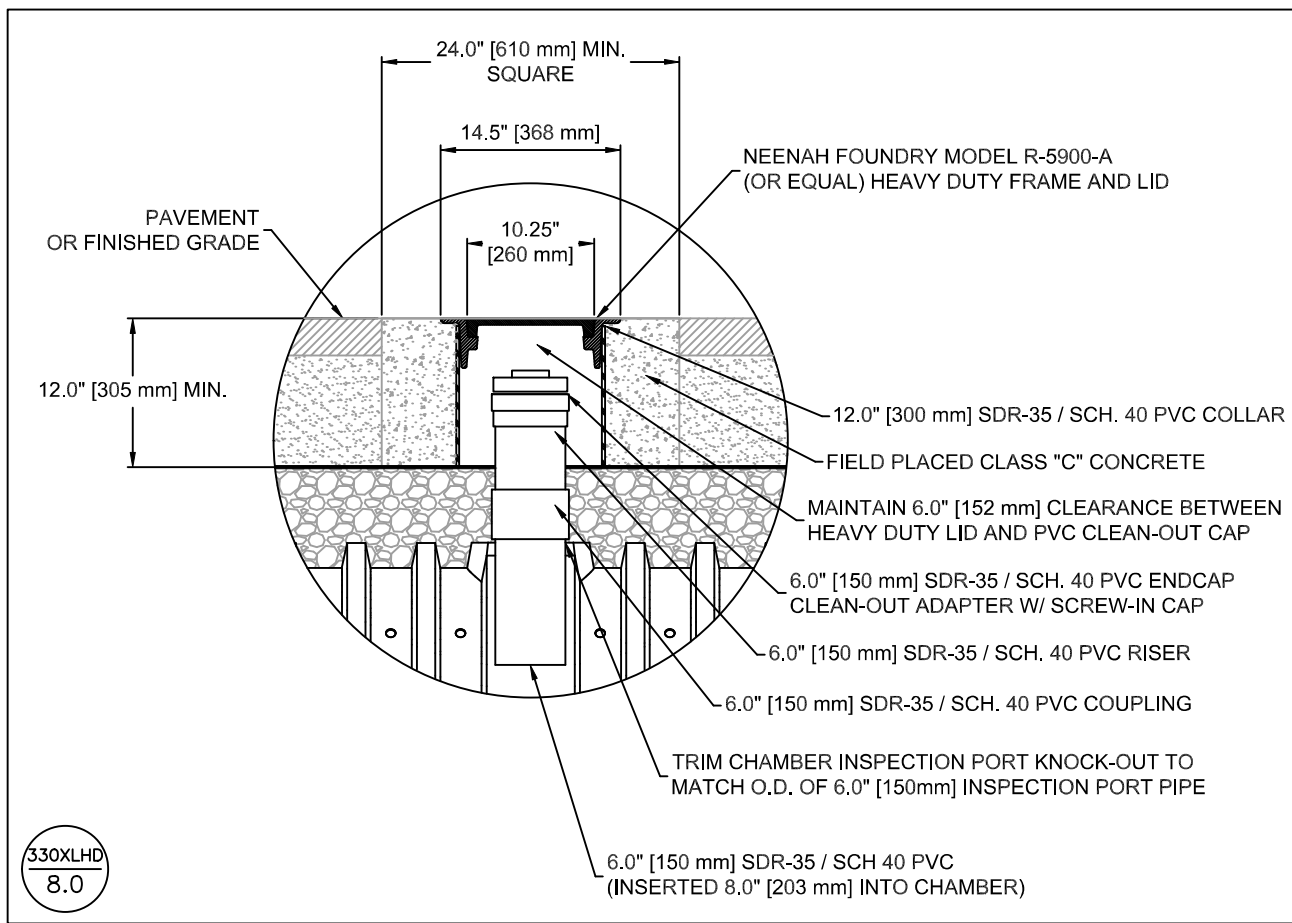
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC., OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 550 X 550 LBS (2,448 X 2,448 N) PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A ELONGATION @ BREAK RESISTANCE OF 20 X 20% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE OF 5,070 X 5,070 LBS/FT (74 X 74 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 2% STRAIN OF 960 X 1,096 LBS/FT (14 X 16 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 5% STRAIN OF 2,740 X 2,740 LBS/FT (40 X 40 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WIDE WIDTH TENSILE RESISTANCE @ 10% STRAIN OF 4,800 X 4,800 LBS/FT (70 X 70 KN/M) PER ASTM D4595 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE RESISTANCE OF 1,700 LBS (7,560 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOIDAL TEAR RESISTANCE OF 180 X 180 LBS (801 X 801 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY RATING OF 0.15 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 11.5 GPM/FT² (470 LPM/M²) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 80% @ 500 HRS. PER ASTM D4355 TESTING METHOD.

CULTEC NO. 410™ NON-WOVEN GEOTEXTILE

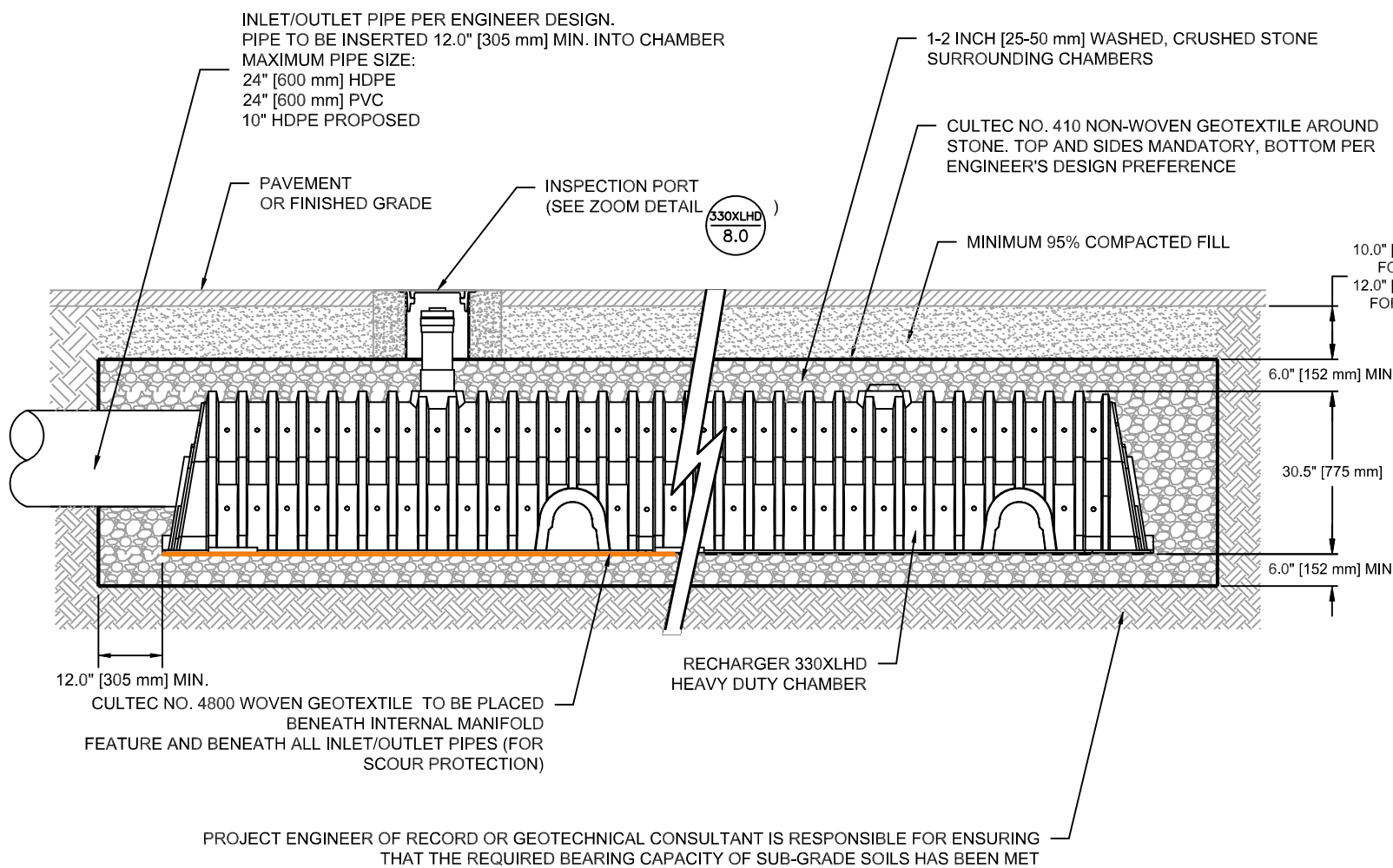
CULTEC NO. 410™ NON-WOVEN GEOTEXTILE MAY BE USED WITH CULTEC CONTACTOR® AND RECHARGER® STORMWATER INSTALLATIONS TO PROVIDE A BARRIER THAT PREVENTS SOIL INTRUSION INTO THE STONE.

GEOTEXTILE PARAMETERS

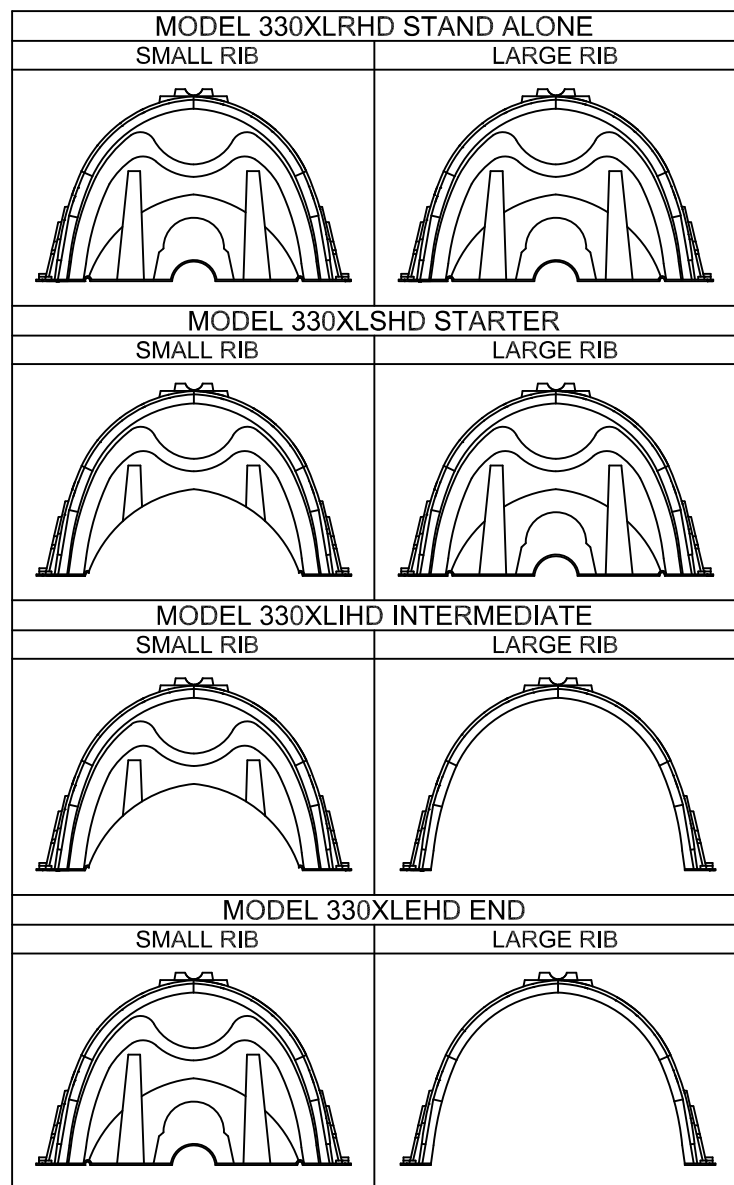
- THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC., OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
- THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.
- THE GEOTEXTILE SHALL HAVE A TYPICAL WEIGHT OF 4.5 OZ/SY (142 G/M).
- THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH VALUE OF 120 LBS (533 N) PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE AN ELONGATION @ BREAK VALUE OF 50% PER ASTM D4632 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A MULLEN BURST VALUE OF 225 PSI (1551 KPA) PER ASTM D3786 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PUNCTURE STRENGTH VALUE OF 65 LBS (289 N) PER ASTM D4833 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A CBR PUNCTURE VALUE OF 340 LBS (1513 N) PER ASTM D6241 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A TRAPEZOID TEAR VALUE OF 50 LBS (222 N) PER ASTM D4533 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A AOS VALUE OF 70 U.S. SIEVE (0.212 MM) PER ASTM D4751 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A PERMITTIVITY VALUE OF 1.7 SEC-1 PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A WATER FLOW RATE VALUE OF 135 GAL/MIN/SF (5500 L/MIN/SM) PER ASTM D4491 TESTING METHOD.
- THE GEOTEXTILE SHALL HAVE A UV STABILITY @ 500 HOURS VALUE OF 70% PER ASTM D4355 TESTING METHOD.



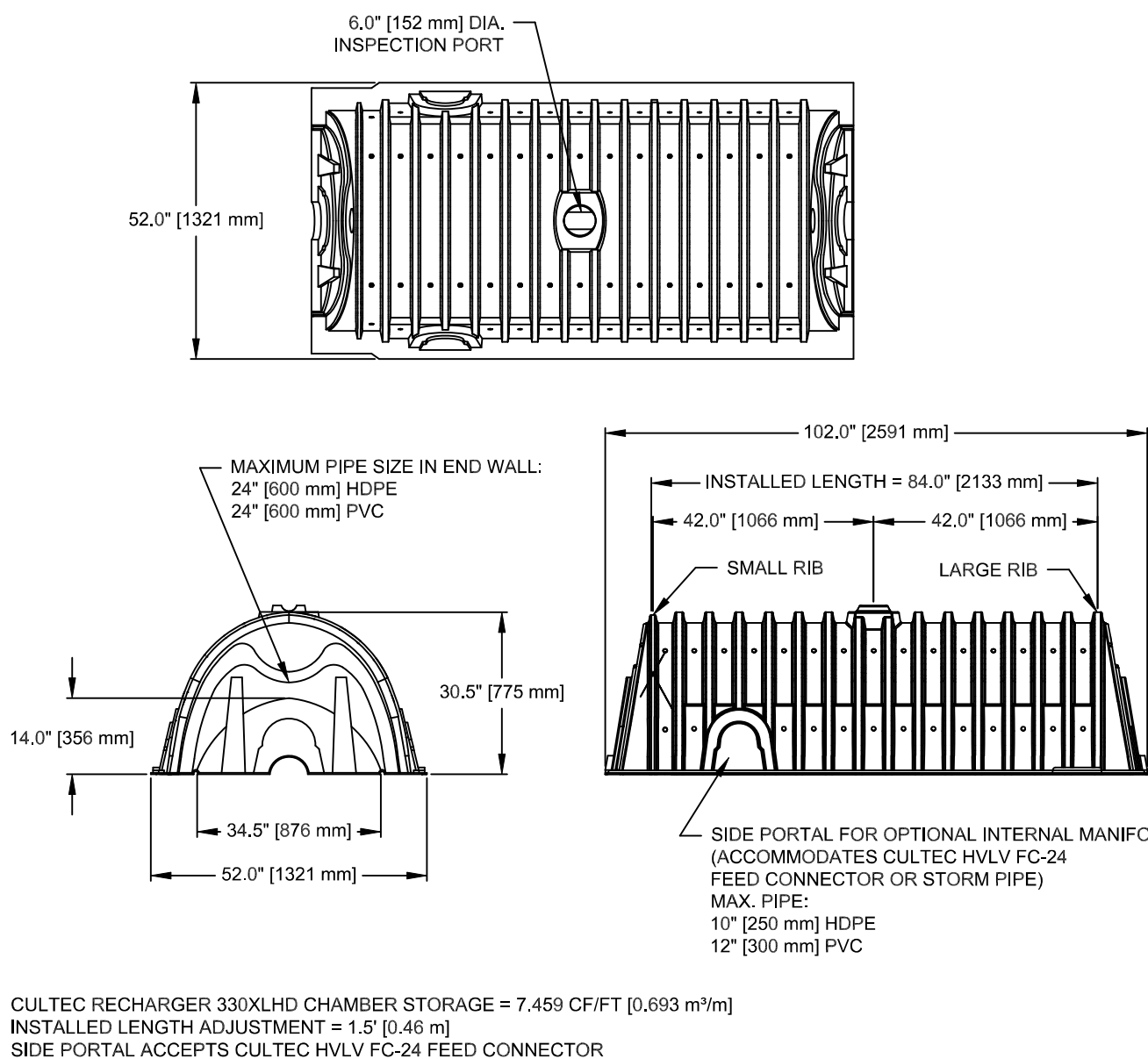
INSPECTION PORT- ZOOM DETAIL



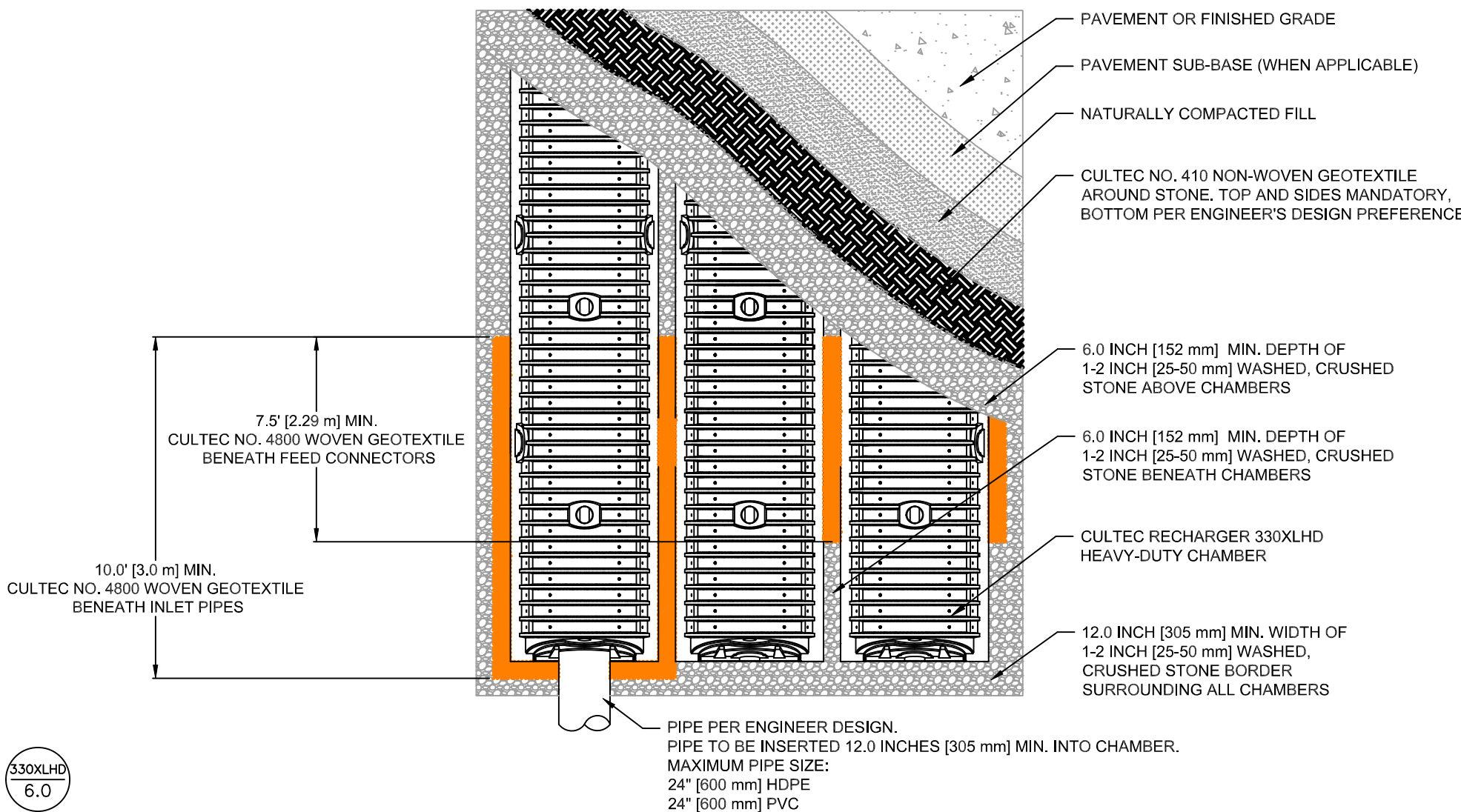
CULTEC INTERNAL MANIFOLD - INSPECTION PORT DETAIL



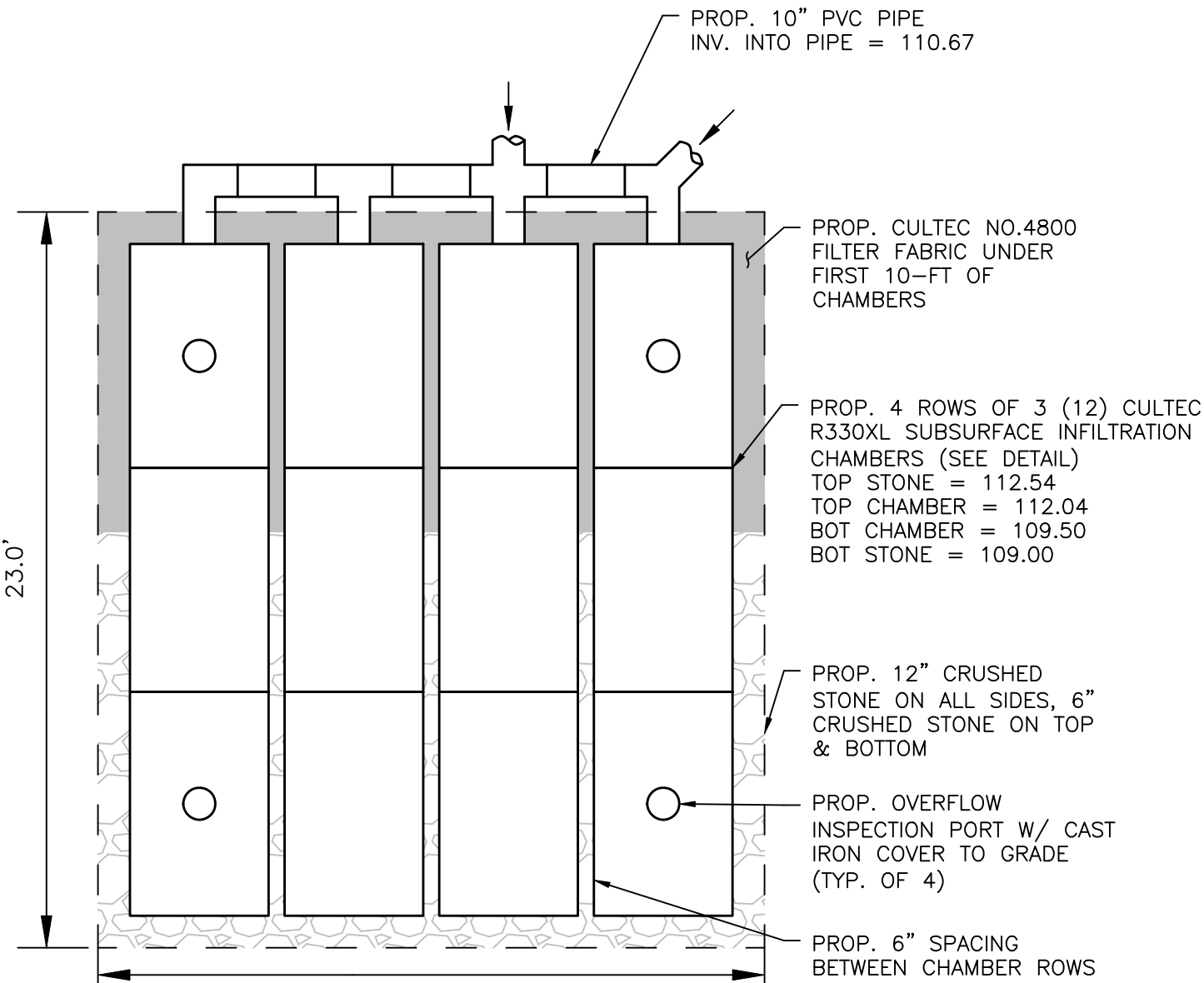
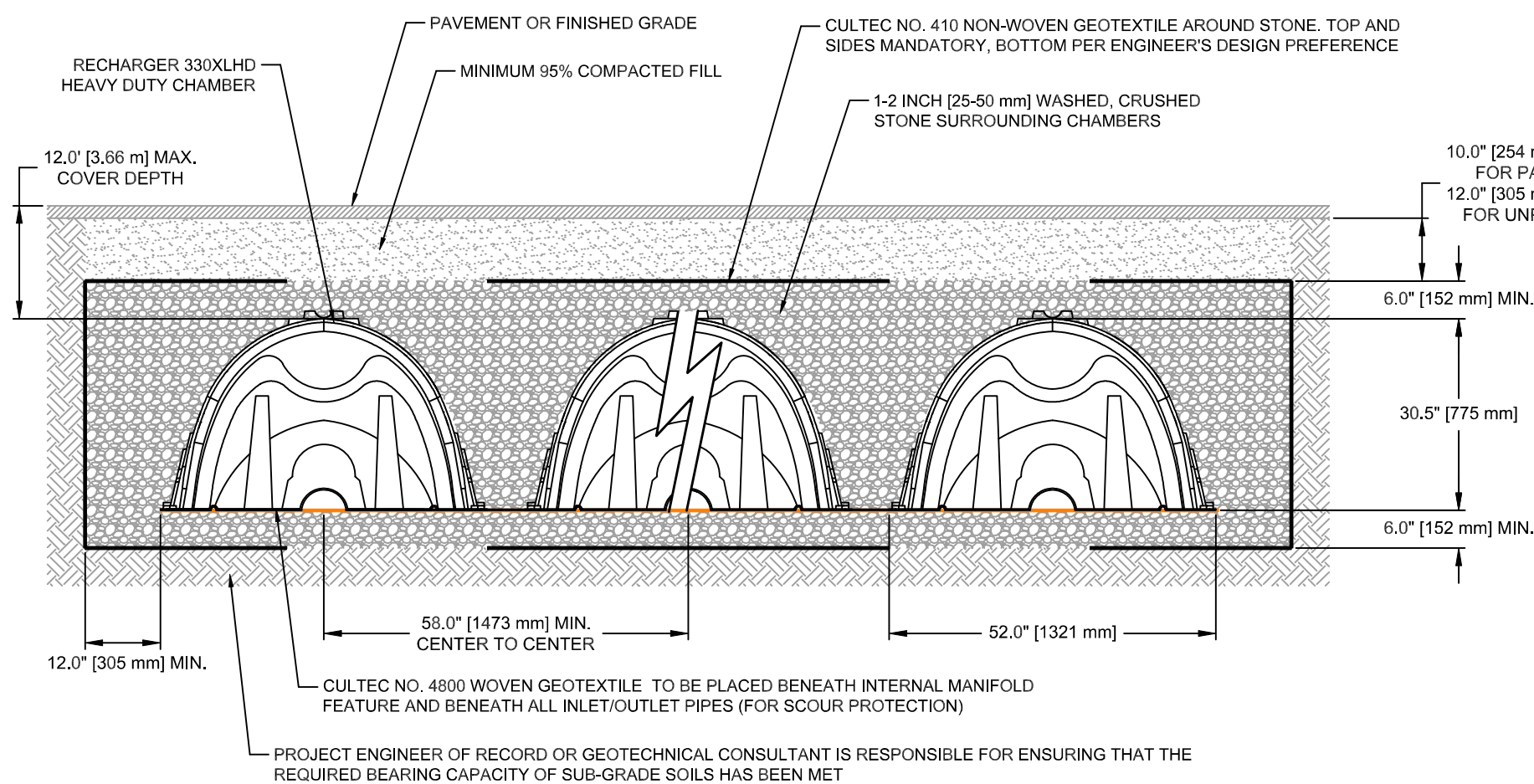
CULTEC RECHARGER 330XLHD HEAVY DUTY THREE VIEW



CULTEC RECHARGER 330XLHD HEAVY DUTY CROSS SECTION



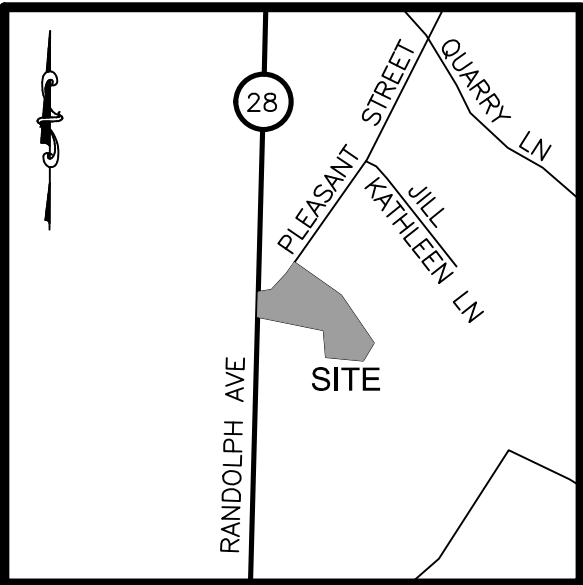
CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW



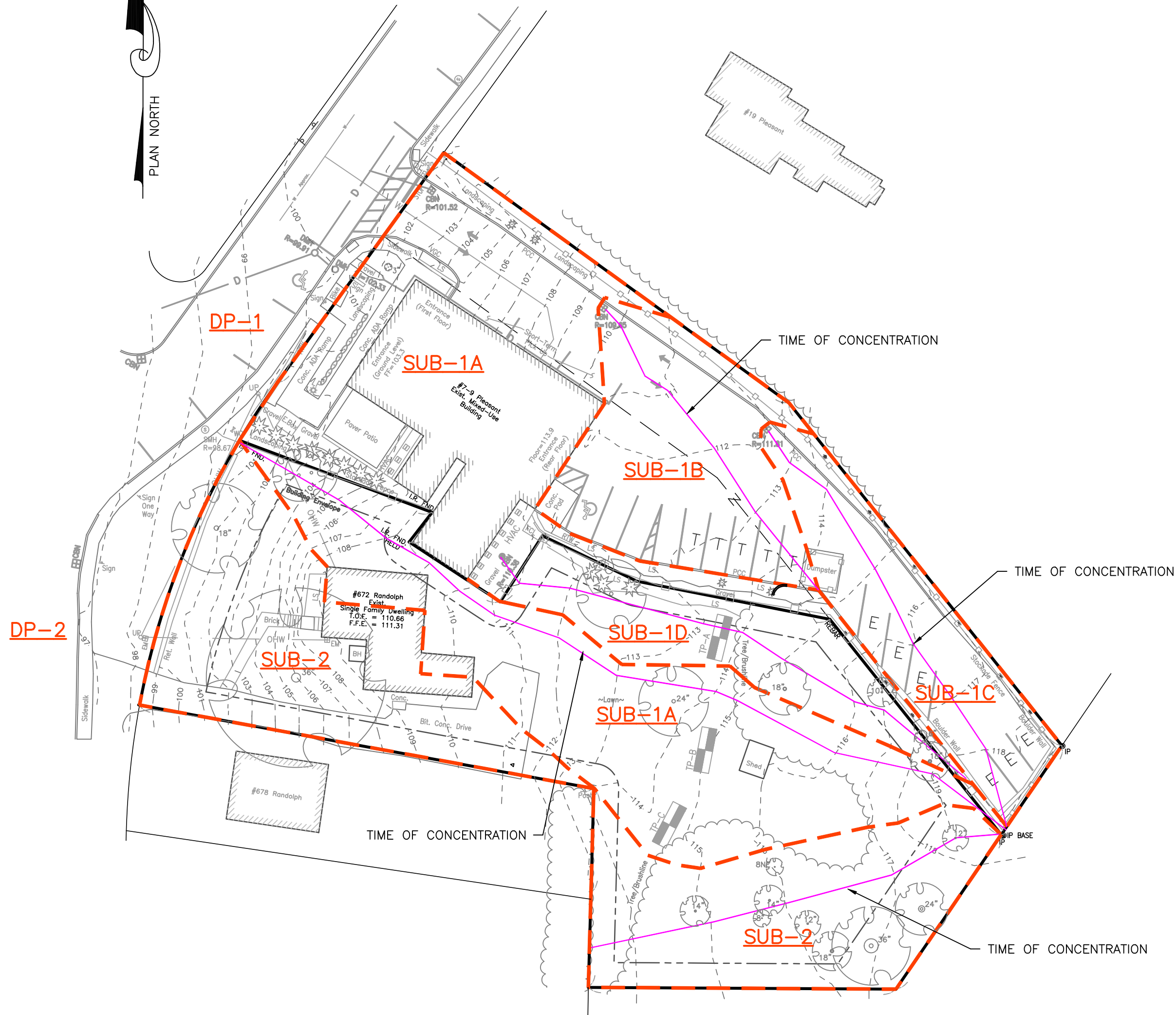
CULTEC R330XL LAYOUT DETAIL  
SCALE: 1" = 5'

BY:	PGG	REV. DATE	10/20/2023	DESCRIPTION	REVISED PARKING LOT & LANDSCAPING	PROGRESS PRINT FOR DISCUSSION ONLY	
PGG	PGG	REV. DATE	11/1/2023	DESCRIPTION	ADDED ABUTTER	PROGRESS PRINT FOR DISCUSSION ONLY	
PGG	PGG	REV. DATE	12/8/2023	DESCRIPTION	ROTATED PARKING LOT	PROGRESS PRINT FOR DISCUSSION ONLY	
PGG	PGG	REV. DATE		DESCRIPTION		PROGRESS PRINT FOR DISCUSSION ONLY	
PROJECT: 7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 14-9 & 14-10) MILTON, MASSACHUSETTS							JOB NO: 18-163
PREPARED BY: MORSE ENGINEERING CO., INC. 19 UNION STREET SUIT 100 SCITUATE, MA 02066 (781) 545-0886							SCALE: 1" = 20'
PREPARED FOR: FALCONI PROPERTIES, LLC							DESIGN: PGG
							CHK: GJM & JMH
							DATE: 5/8/2023
							PLAN TITLE: GRADING & UTILITIES
							SHEET: 7 OF 8

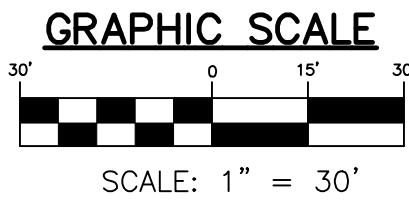




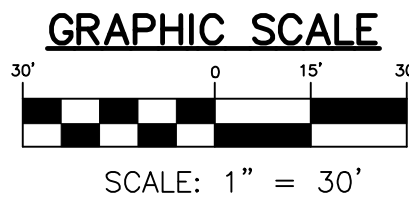
VICINITY MAP  
NO SCALE




EXISTING CONDITIONS  
(FROM 2018 SITE PLAN)



PROPOSED CONDITIONS



PROJECT:		7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 1.4-9 & 1.4-10) MILTON, MASSACHUSETTS		PREPARED BY:		PROGRESS PRINT FOR DISCUSSION ONLY	BY:	DESCRIPTION
JOB NO:		18-163	PGG					
SCALE:		1" = 20'	PGG					
DESIGN:			PGG					
CHK:			PGG	REV. DATE	REVISED PARKING LOT & LANDSCAPING	PGG		
DATE:			GJM & JMH	10/20/2023				
PLAN TITLE:		WATERSHED DELINEATION PLANS		11/1/2023	ADDED ABUTTER	PGG		
SHEET:		8 OF 8		12/8/2023	ROTATED PARKING LOT	PGG		