

VICINITY MAP
NO SCALE

ABBREVIATIONS

APPROX	APPROXIMATE
BH	BULK HEAD
CB/DH	CONCRETE BOUND/DRILL HOLE
CCB	CONCRETE COD BERM
CONC	CONCRETE
CBN	CATCH BASIN
D	DRAIN
DMH	DRAINAGE MANHOLE
E	ELECTRIC
EM	ELECTRIC METER
ELEV	ELEVATION
EXIST	EXISTING
FFE	FIRST FLOOR ELEVATION
FND	FOUNDATION
G	GAS
GM	GAS METER
INVERT	INVERTER
IP	IRON PIPE
IR	IRON ROD
LS	LANDSCAPING
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OHW	OVERHEAD WIRE
PCC	PRECAST CONCRETE CURB
PROP	PROPOSED
PVC	POLY-VINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
RD	RADIUS
S	SEWER
SCH	SCHEDULE
TP	TEST PIT
TOF	TOP OF FOUNDATION
TP	TOPICAL
UP	UTILITY POLE
W	WATER
WS	WATER SERVICE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
55	100	CONTOUR ELEVATION
x100.0	+100.0	EROSION CONTROL / LIMIT OF WORK
D	D	SPOT GRADE
田	田	DRAIN MANHOLE (DMH)
○	○	CATCH BASIN (CBN)
田	田	SEWER MANHOLE (SMH)
○	○	UTILITY POLE (UP)
●	●	LIGHT POLE
▲	▲	LIGHT
■	■	SIGN
—	—	ADA ACCESSIBLE PARKING
—	—	FENCE
—	—	ACCESSIBLE RAMP
—	—	DECIDUOUS TREE
—	—	CONIFEROUS TREE
—	—	ARBORVITAE TREE
—	—	PROPOSED DOOR

GENERAL NOTES:

1. RECORD OWNER: FALCONI PROPERTIES, LLC 672 RANDOLPH FALCONI PROPERTIES, LLC
2. DEED REFERENCES: BK. 34877 PG. 533 BK. 40083 PG. 59
3. RECORD PLANS: BK. 671 PG. 342 BK. 502 PG. 737
4. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF MILTON RESIDENCE C ZONING DISTRICT.
5. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE TOWN OF MILTON FLOOD PLAIN OVERLAY DISTRICT.
6. THIS PLAN IS BASED ON A GROUND SURVEY PERFORMED BY MORSE ENGINEERING COMPANY, INC. ON MARCH OF 2022, AND PROPOSED CONDITIONS PER THE APPROVED SITE PLAN FOR 7-9 PLEASANT STREET FROM 2019.
7. THERE ARE NO KNOWN WETLAND RESOURCE AREAS ON THE SUBJECT PROPERTY OR WITHIN 100' OF THE PROPOSED PROJECT.
8. THE SUBJECT PROPERTY LIES IN ZONE "X" AS SHOWN ON FEMA COMMUNITY MAP PANEL 25021C 02022 DATED 7/17/2012.
9. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A DEP DESIGNATED ZONE II RESOURCE AREA.
10. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A DEP ZONE I SURFACE WATER SUPPLY AREA.
11. UTILITIES SHOWN ON THIS PLAN ARE BASED ON OBSERVATION OF ABOVE GROUND UTILITIES AND REASONABLE LOCATION OF BELOW GROUND UTILITIES. NO WARRANTY IS EXPRESSED OR IMPLIED AS TO THE ACCURACY OF THE LOCATIONS OF SAID UTILITIES, OR THE EXISTENCE OR NON-EXISTENCE OF ANY OTHER SUCH UTILITIES.
12. THE CONTRACTOR SHALL CONTACT DIG-SAFE (988-344-7233) AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY FIELD CHANGES.
14. ALL ELEVATIONS ARE ON AN ASSUMED DATUM.

**SITE PLAN
PROPOSED PARKING AREA
7-9 PLEASANT STREET & 672 RANDOLPH AVE
(ASSESSOR'S PARCELS: 1-4-9 & 1-4-10)
MILTON, MASSACHUSETTS**

SITE PLAN APPROVAL

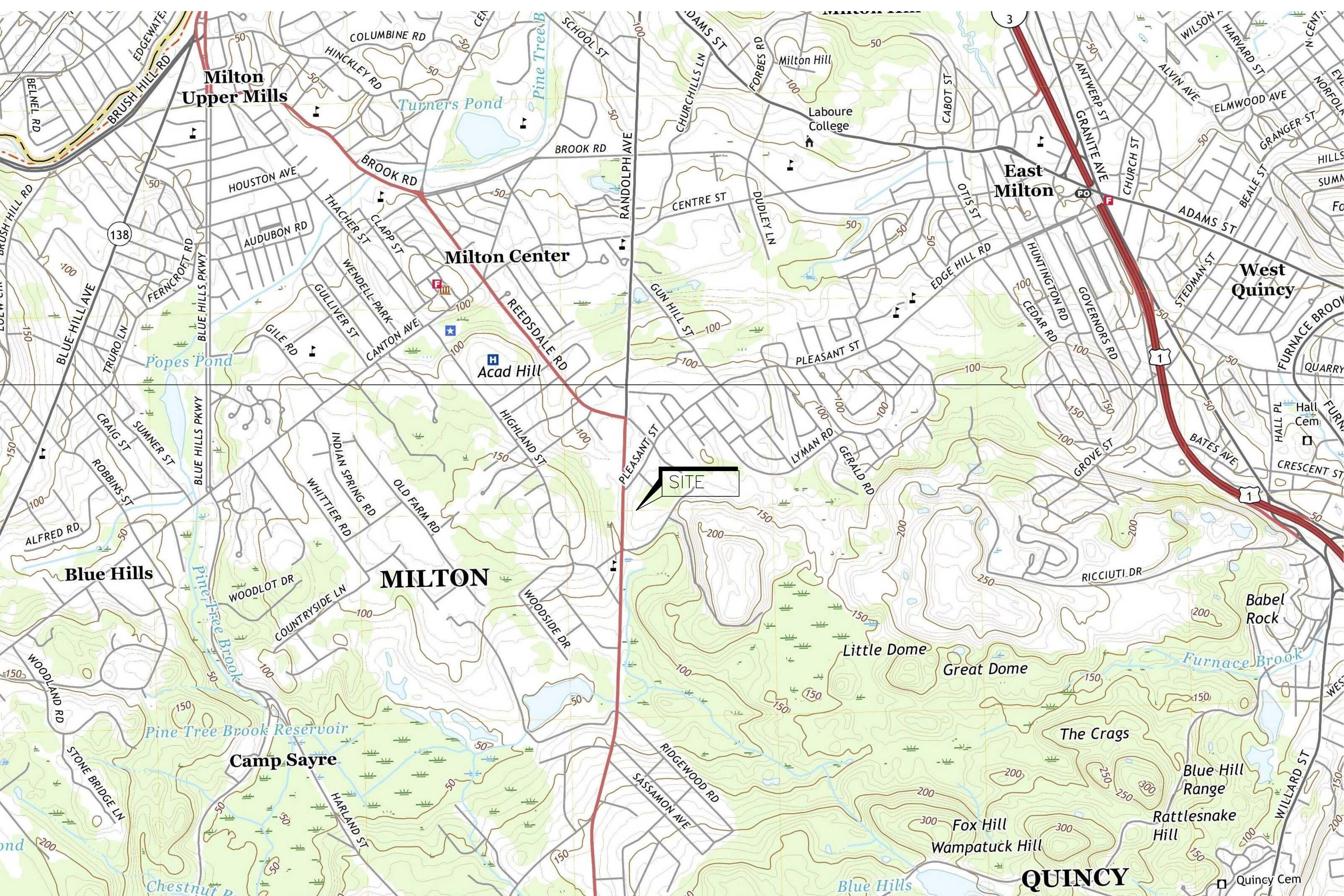
DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

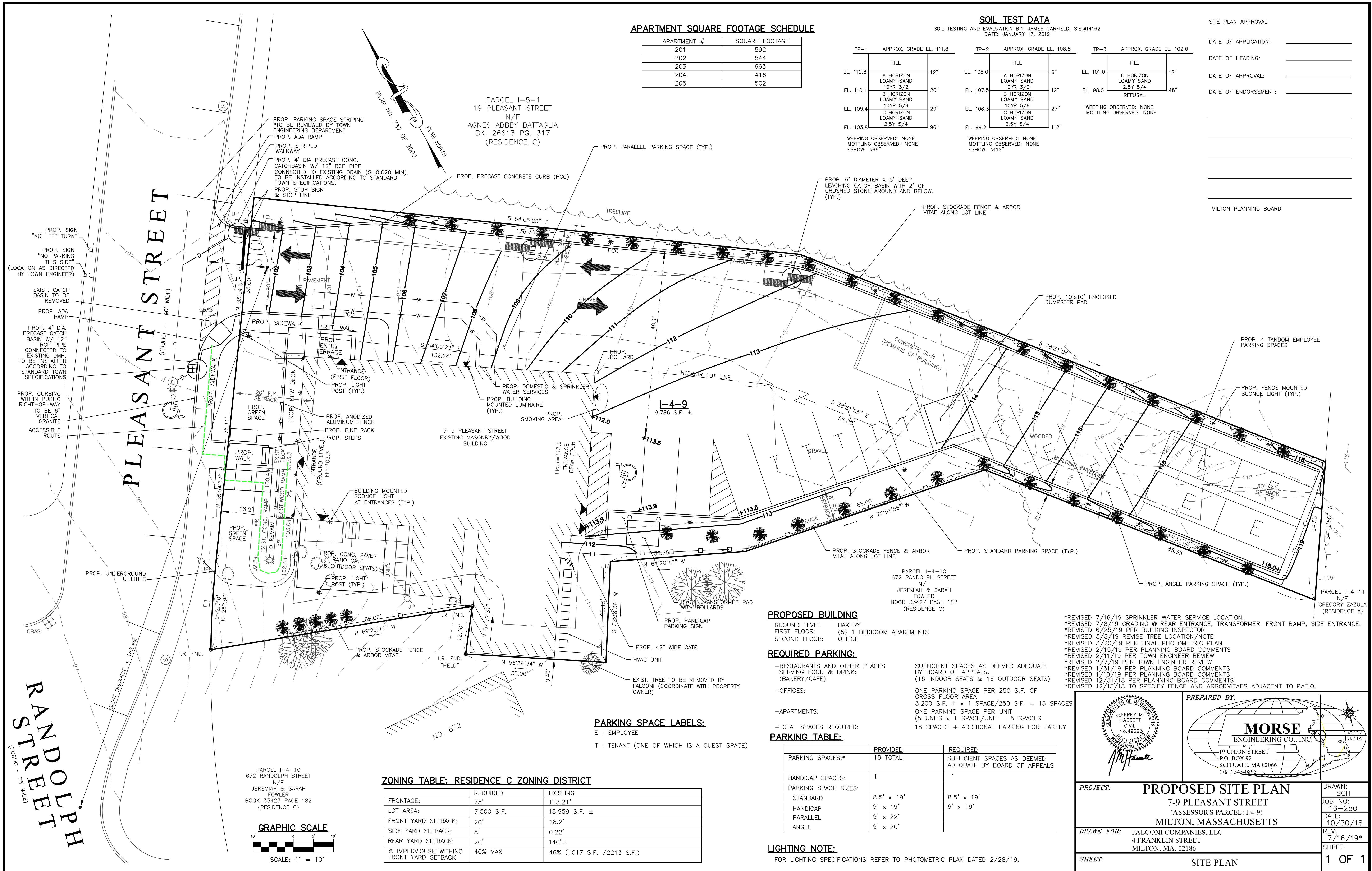
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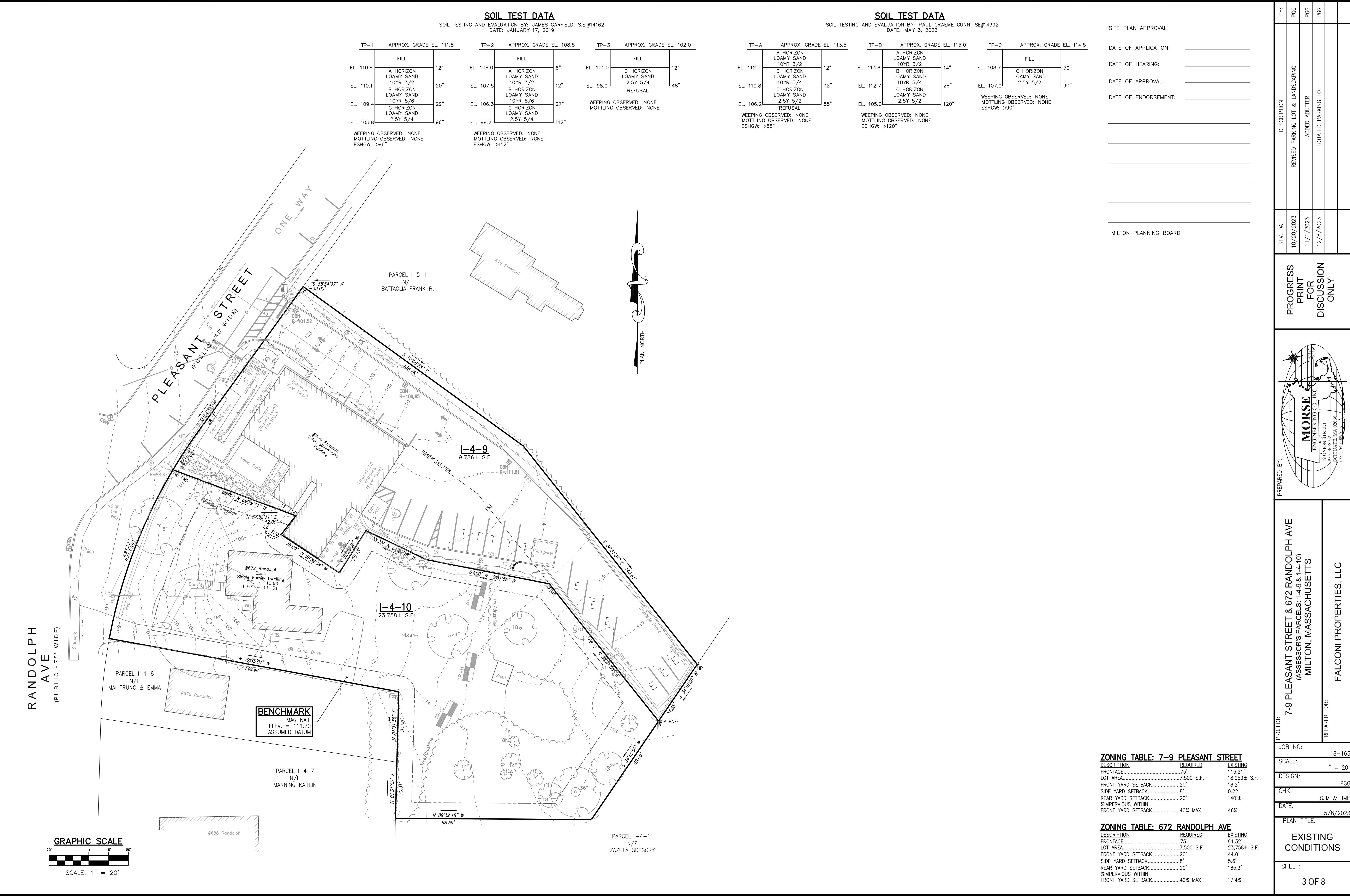
MILTON PLANNING BOARD

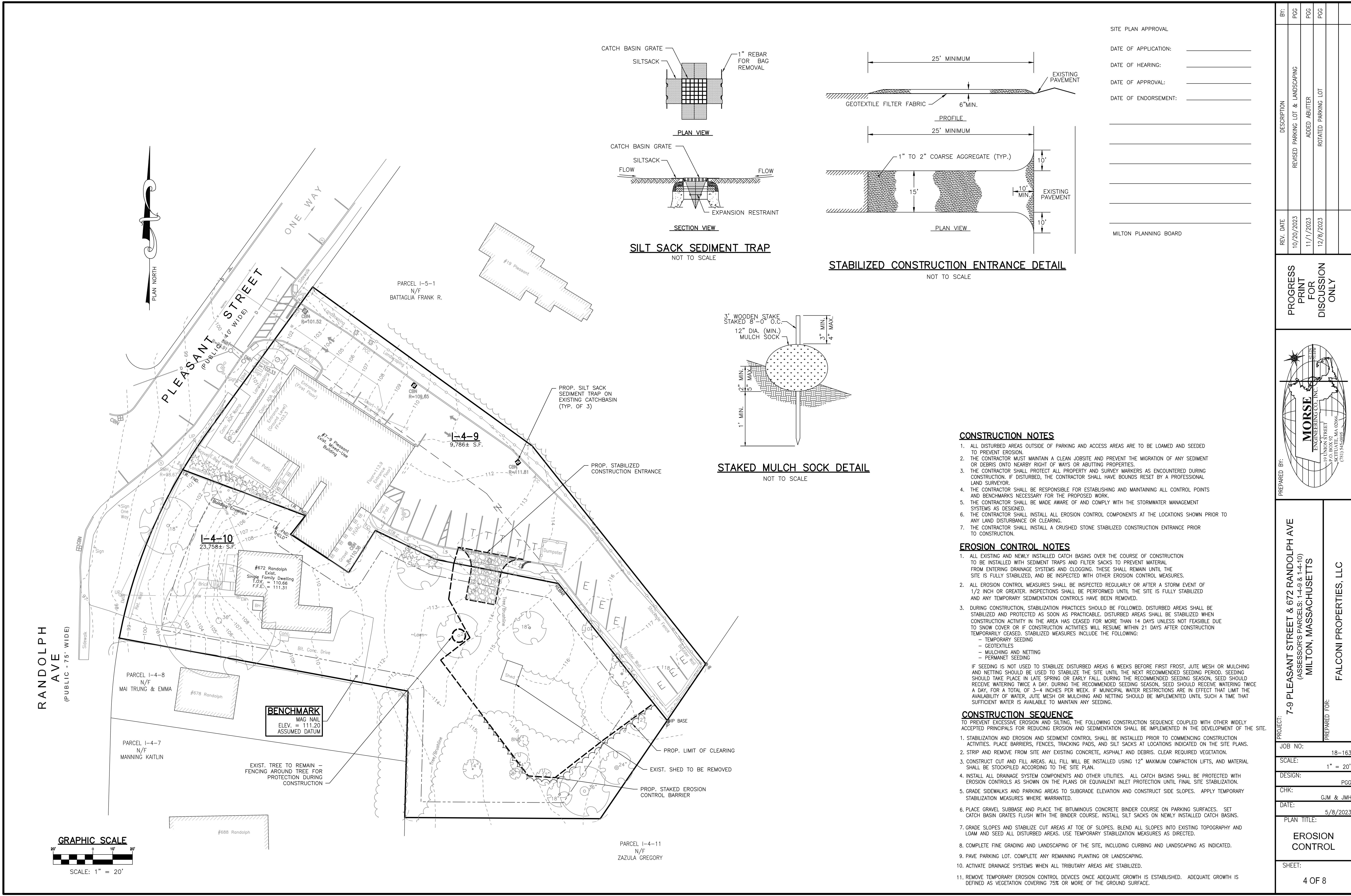


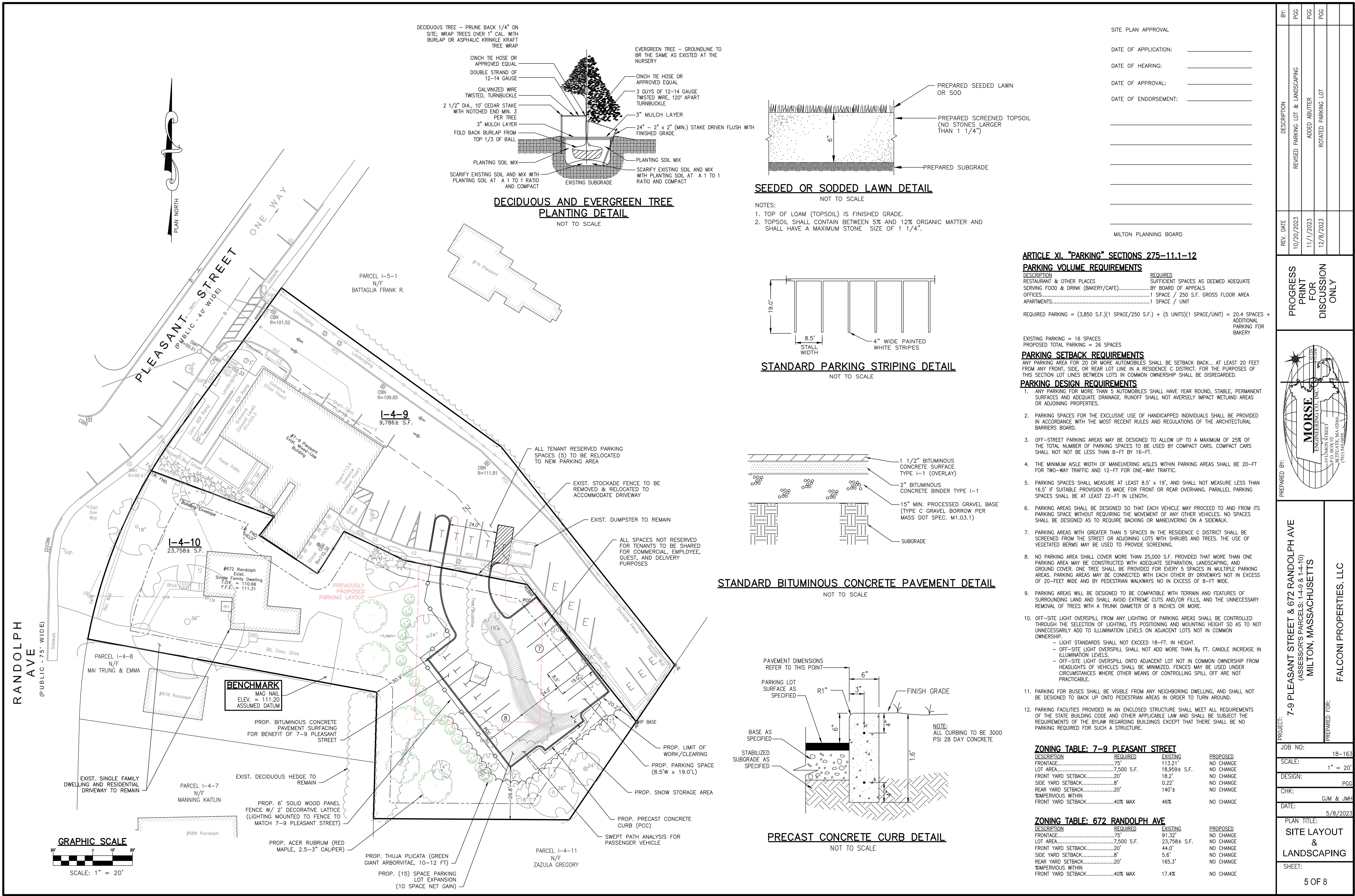
1,000' 0 500' 1,000'
SCALE: 1" = 1,000'

PROJECT: 7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 1-4-9 & 1-4-10) MILTON, MASSACHUSETTS	PREPARED FOR: FALCONI PROPERTIES, LLC	PREPARED BY: MORSE ENGINEERING CO., INC.	PROGRESS PRINT FOR DISCUSSION ONLY
10 NEW DRIFWAY, SUITE 303 SCITUATE, MA 02066 (781) 545-0895	4 FRANKLIN STREET MILTON, MA 02186	10/20/2023 11/1/2023 12/8/2023	REV. DATE 10/20/2023 11/1/2023 12/8/2023
CIVIL ENGINEER / LAND SURVEYOR MORSE ENGINEERING CO., INC. 10 NEW DRIFWAY, SUITE 303 SCITUATE, MA 02066 (781) 545-0895		DESCRIPTION REVISED PARKING LOT & LANDSCAPING ADDED ABUTTER ROTATED PARKING LOT	
SHEET INDEX SHEET 1 — COVER PAGE SHEET 2 — PREVIOUS SITE PLAN SHEET 3 — EXISTING CONDITIONS SHEET 4 — EROSION & SEDIMENTATION CONTROL SHEET 5 — SITE LAYOUT & LANDSCAPING SHEET 6 — GRADING & UTILITIES SHEET 7 — CULTEC DETAILS SHEET 8 — WATERSHED DELINEATION		SHEET: 1 OF 8	









SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: JAMES GARFIELD, S.E.#14162
DATE: JANUARY 17, 2019

TP-1	APPROX. GRADE	EL. 111.8	TP-2	APPROX. GRADE	EL. 108.5	TP-3	APPROX. GRADE	EL. 102.0
EL. 110.8	FILL	12"	EL. 108.0	FILL	6"	EL. 101.0	FILL	12"
EL. 110.1	A HORIZON LOAMY SAND 10YR 3/2	20"	EL. 107.5	A HORIZON LOAMY SAND 10YR 3/2	12"	EL. 98.0	C HORIZON LOAMY SAND 2.5Y 5/4	48"
EL. 109.4	B HORIZON LOAMY SAND 10YR 5/6	29"	EL. 106.3	B HORIZON LOAMY SAND 10YR 5/6	27"	WEPPING OBSERVED: NONE MOTTLING OBSERVED: NONE ESHW: >12"	C HORIZON LOAMY SAND 2.5Y 5/4	88"
EL. 103.8	C HORIZON LOAMY SAND 2.5Y 5/4	96"	EL. 99.2	C HORIZON LOAMY SAND 2.5Y 5/4	112"			

WEPPING OBSERVED: NONE
MOTTLING OBSERVED: NONE
ESHW: >96"

WEPPING OBSERVED: NONE
MOTTLING OBSERVED: NONE
ESHW: >12"

SOIL TEST DATA

SOIL TESTING AND EVALUATION BY: PAUL GREGORY GUNN, S.E.#14392
DATE: MAY 3, 2023

TP-A	APPROX. GRADE	EL. 113.5	TP-B	APPROX. GRADE	EL. 115.0	TP-C	APPROX. GRADE	EL. 114.5
EL. 112.5	A HORIZON LOAMY SAND 10YR 3/2	12"	EL. 113.8	A HORIZON LOAMY SAND 10YR 3/2	14"	EL. 108.7	FILL	70"
EL. 110.8	B HORIZON LOAMY SAND 10YR 5/4	32"	EL. 112.7	B HORIZON LOAMY SAND 10YR 5/4	28"	EL. 107.0	C HORIZON LOAMY SAND 2.5Y 5/2	90"
EL. 106.2	C HORIZON LOAMY SAND 2.5Y 5/2	88"	EL. 105.0	REFUSAL	120"			

WEPPING OBSERVED: NONE
MOTTLING OBSERVED: NONE
ESHW: >88"

WEPPING OBSERVED: NONE
MOTTLING OBSERVED: NONE
ESHW: >120"

WEPPING OBSERVED: NONE
MOTTLING OBSERVED: NONE
ESHW: >90"

SITE PLAN APPROVAL

DATE OF APPLICATION: _____
DATE OF HEARING: _____
DATE OF APPROVAL: _____
DATE OF ENDORSEMENT: _____

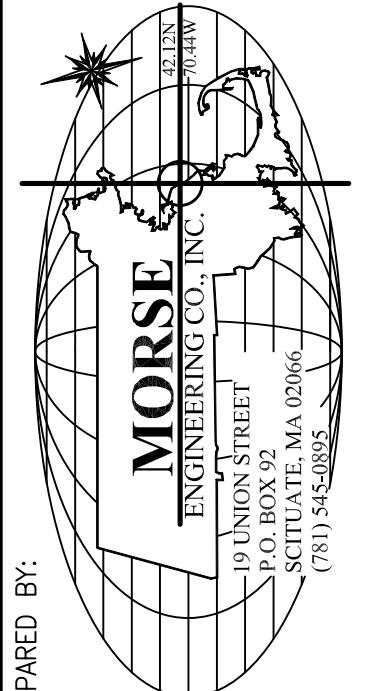
MILTON PLANNING BOARD

By:
PGC
PGC
PGC

REvised parking lot & landscaping
Added abutter
Rotated parking lot

REV. DATE
10/20/2023
11/1/2023
12/8/2023

PROGRESS
PRINT
FOR
DISCUSSION
ONLY



PREPARED BY:

MORSE
ENGINEERING CO., INC.

19 UNION STREET
SCITUATE, MA 02066
(781) 545-0895

PROJECT:
7-9 PLEASANT STREET & 672 RANDOLPH AVE
(ASSESSORS PARCELS: I-4-8 & I-4-10)
MILTON, MASSACHUSETTS

PREPARED FOR:
FALCONI PROPERTIES, LLC

18-163

JOB NO:
18-163

SCALE:
1" = 20'

DESIGN:
PGC

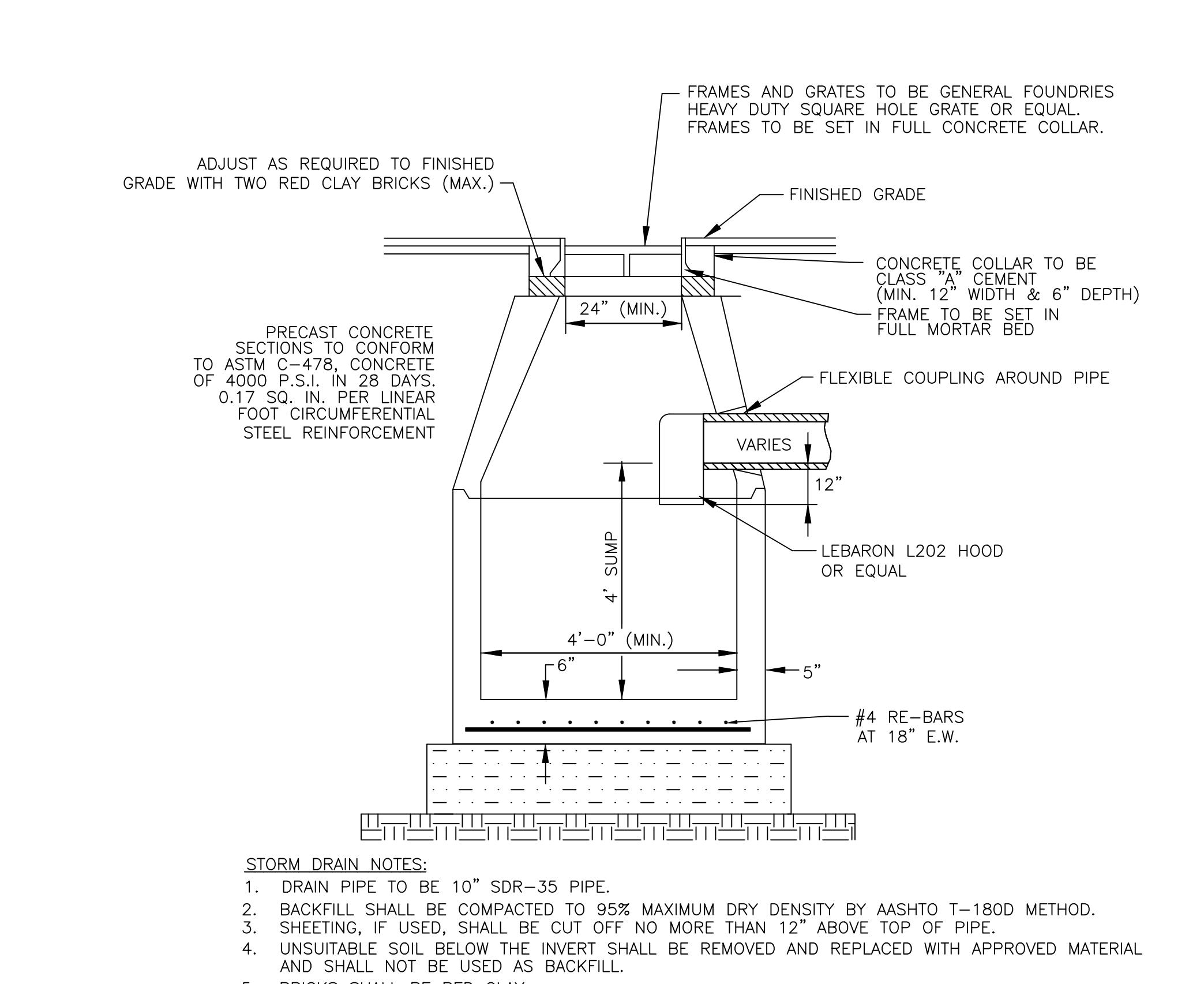
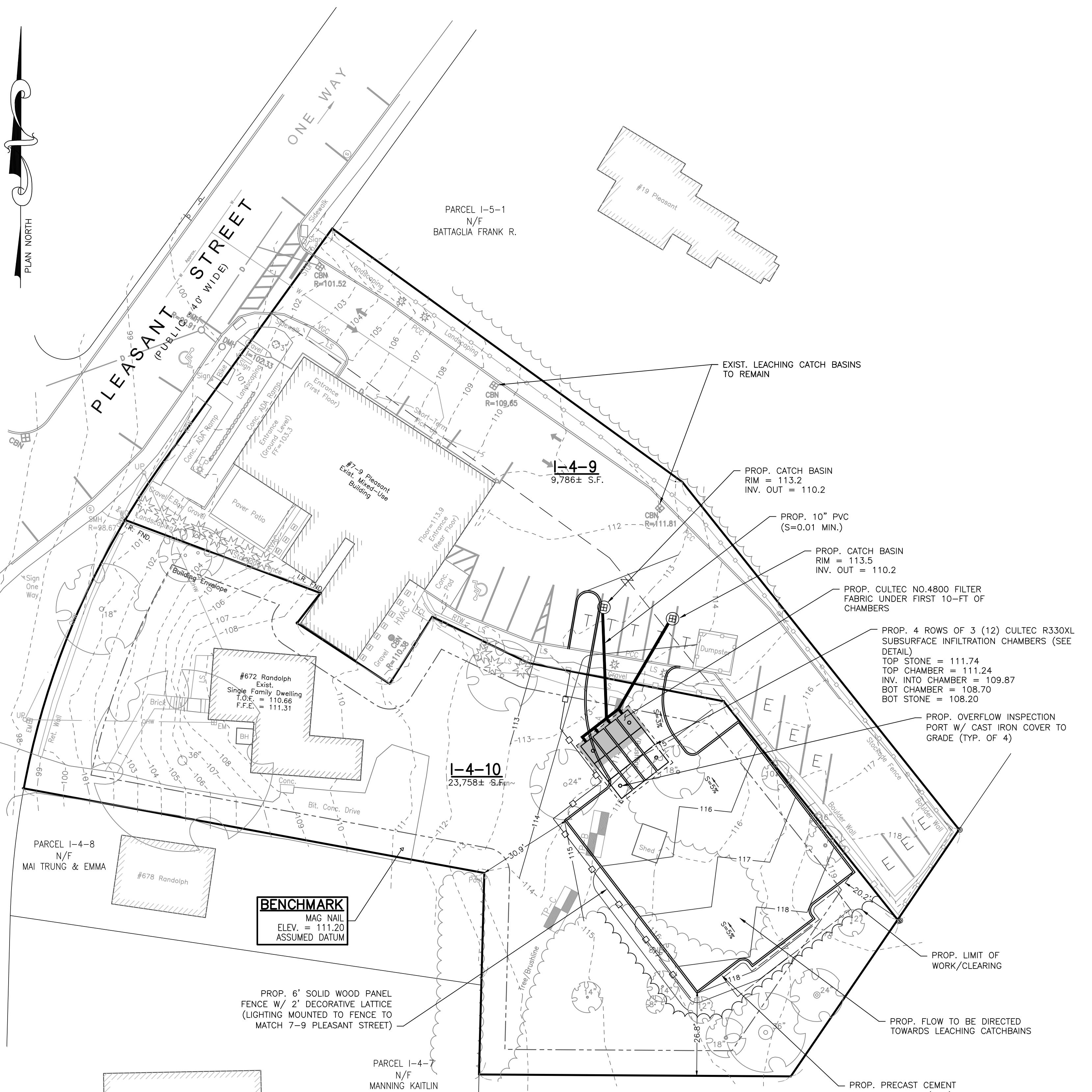
CHK:
CJM & JMH

DATE:
5/8/2023

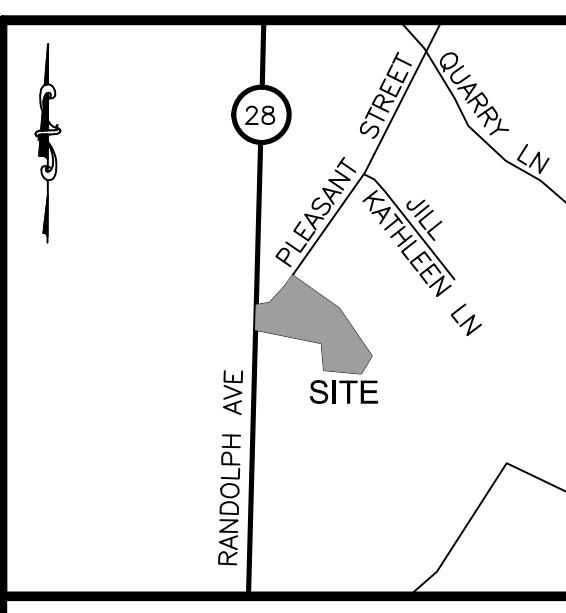
PLAN TITLE:
GRADING
&
UTILITIES

SHEET:
6 OF 8

RANDOLPH
Ave
(PUBLIC 75' WIDE)



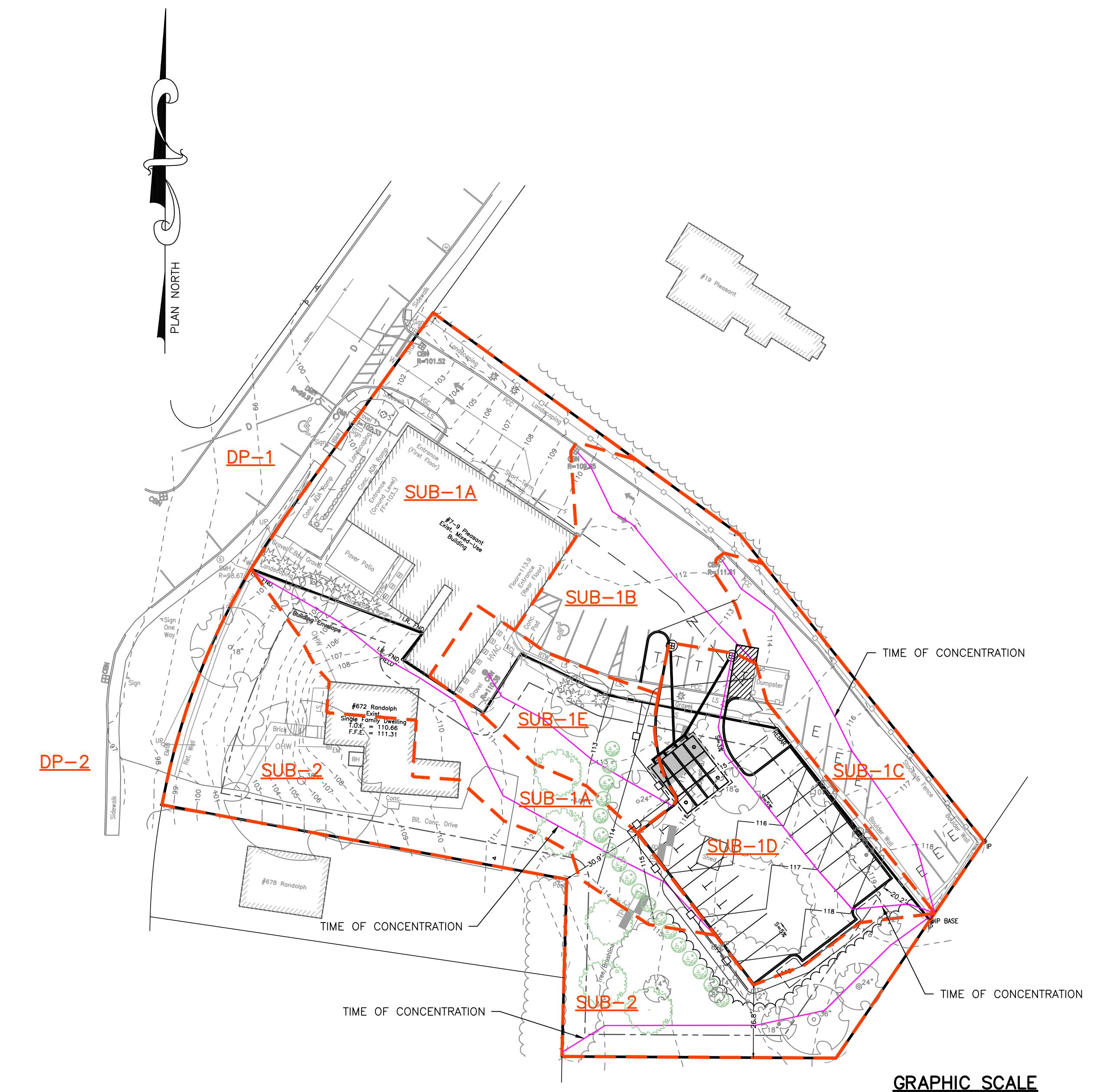
STANDARD CATCH BASIN DETAIL
NOT TO SCALE



VICINITY MAP
NO SCALE



EXISTING CONDITIONS
(FROM 2018 SITE PLAN)



PROPOSED CONDITIONS

PROJECT:	7-9 PLEASANT STREET & 672 RANDOLPH AVE (ASSESSOR'S PARCELS: 143-8 1-4-10)	PREPARED BY:	MORSE ENGINEERING CO., INC. 19 UNION STREET MILTON, MASSACHUSETTS (781) 545-8985	REV. DATE:	10/20/2023	DESCRIPTION:	REVISED PARKING LOT & LANDSCAPING
PREPARED FOR:	FALCONI PROPERTIES, LLC	PROGRESS PRINT FOR DISCUSSION ONLY	MORSE ENGINEERING CO., INC. 19 UNION STREET MILTON, MASSACHUSETTS (781) 545-8985	REV. DATE:	11/1/2023	DESCRIPTION:	ADDED ABUTTER
PREPARED FOR:		PROGRESS PRINT FOR DISCUSSION ONLY		REV. DATE:	12/8/2023	DESCRIPTION:	ROTATED PARKING LOT
JOB NO:	18-163	DESIGN:	PGG	CHK:	CJM & JMH	DATE:	5/8/2023
SCALE:	1" = 20'	CHK:		DATE:		PLAN TITLE:	WATERSHED DELINEATION PLANS
DATE:		PLAN TITLE:		SHEET:		8 OF 8	