

August 9, 2024

Mr. Chase Berkeley, Director of Public Works
Public Works Department
629 Randolph Avenue
Milton, MA 02186

**RE: Neponset River CPA Study
Letter Proposal for Professional Engineering Services**

Dear Chase,

Environmental Partners Group, LLC (Environmental Partners/EP) is pleased to submit this letter proposal for professional engineering services to assist the Town of Milton (Client) with the Neponset River Study. Environmental Partners developed the proposed scope of services based upon EP's discussions with the Client regarding the planning study of the Lower Neponset River Estuary.

Project Understanding

The Neponset River Estuary serves as a natural border between Milton, Boston, and Quincy. The Neponset River Estuary is where saltwater and freshwater meet on the Neponset, creating a unique ecosystem in the area for numerous species of birds, fish, and other marine life to inhabit.

The Town recently transferred 33-acres of land abutting the Neponset River to the Conservation Commission. This land includes marsh and riverfront access. It is our understanding the Client would like to establish the existing conditions of Town-owned land in effort to create a potential shared resource with the City of Quincy. The Neponset River Watershed Association (NRWA) is also an important stakeholder, and the Client reported that NRWA is currently assessing the wetland resource areas associated with the estuary including the Town-owned lands included in this study.

The Client received funding through the Community Preservation Committee (CPC) to complete an initial study and conceptual design of the four Town-owned parcels and a portion of the riverfront peninsula parcel that is privately owned and located within the City of Quincy. EP developed the following Scope of Services in support of the beginning planning efforts to restore the estuary as a public recreational and open space to preserve and enjoy the riverfront and wildlife habitat.

Scope of Services

Task 1: Field Investigations

EP will provide field investigations in connection with Task 1 as described below in the following subtasks:

- 1.1. Provide a professional land survey for all four parcels (Areas A through D) of land within the project limits. A figure of the survey area is provided in Attachment 1. The municipal boundary between the Town of Milton and City of Quincy will be staked out with wooden stakes and flagging approximately every 100 feet.

The survey plan will include property lines and easements, 1' topographic contours, and limits of vegetation. Publicly available GIS data will be relied upon for wetland resource areas and no wetland delineation is included within this scope. The survey will be subcontracted to a licensed Massachusetts Professional Land Surveyor.

EP will coordinate with the Client to notify property owners of the ongoing work prior to the land survey, including notification of potential drone flights for aerial survey of the area. EP will coordinate with the Client to request formal access to survey the private property located in Quincy owned by Blue Cross Blue Shield of Massachusetts.

- 1.2. Conduct up to a half-day of field investigations with EP staff. During our investigations, potential tasks will include additional measurements, taking project photos, gathering additional elevation information, reviewing site conditions, and marking-out approximate property bounds. EP will coordinate with the Client on the critical property junctions to be located and marked with wooden stakes by EP personnel.
- 1.3. Conduct an in-person kickoff meeting with the Neponset River Project Team (Project Team), including Town officials, project proponents, and other stakeholders. A representative from the NRWA will be invited to the kick-off meeting. During the meeting, we will discuss the scope of work, schedule, and deliverables for Task 2, conceptual design.

EP will coordinate the survey work to begin on the same day as the kick-off meeting and field investigations.

- 1.4. Review compiled field data and background information to complete an existing conditions review. The review will include assessment of wetland resource areas, FEMA flood zones, Chapter 91 lands, and Priority Habitats of rare Species. As part of this task, EP will submit a request for information to the Project Team following the kick-off meeting. EP will collaborate with other Project Stakeholders, including the NRWA for any relevant background material of the site.
- 1.5. Prepare a base file in ArcGIS that includes the professional land survey and supplemental information from EP's field investigations and existing conditions review. The map will be used as the base for developing the conceptual designs in Task 2.

Task 2: Conceptual Design

EP will prepare conceptual design alternatives for review and comment by the Project Team. The following subtasks will be included in Task 2:

- 2.1 Prepare an initial base level concept plan. EP will use the survey base created in Task 1 as the existing conditions base plan. The plan will include color coded design features and show a general layout of the site with callouts, including layout of site access points and a trail path alignment of Areas A and B. No grading design will be completed in Task 2.
- 2.2 Conduct a virtual workshop meeting with the Project Team to review the existing site conditions, initial concept design, and discuss project goals for full build-out of the site. Representatives from the NRWA and City of Quincy will be invited to the workshop meeting to collaborate on the Project.
 - a. EP will present the findings from the survey, property bounds assessment, and existing conditions review.
 - b. EP will present the initial draft concept design of the build-out of the high-priority parcels, identified as Areas A and C on the attached Survey Figure. The workshop will evaluate the feasibility of site general build-out including topography, accessibility, limitations, obstacles, historical features, and precedent projects. This workshop will establish the project goals and objectives.
- 2.3 Provide up to two (2) additional concept plans for the full site (Areas A through D). These concept plans will build upon the initial concept design and include the additional two (2) parcels, study Areas B and D as shown on the attached Survey Figure.
- 2.4 Prepare a budgetary opinion of probable construction costs (OPCC) for each conceptual design in 2024 present day value.
- 2.5 Prepare fact sheets for each conceptual design alternative. The fact sheets will be one-to-two-page documents that may be used as a stand-alone document from the technical memorandum. The fact sheets will include a description of the alternative, advantages, limitations, anticipated permitting, and a budgetary OPCC. Final fact sheets will be prepared following feedback from the Project Team. The fact sheets will be issued in electronic format (PDF).
- 2.6 Draft a technical memorandum summarizing the existing site conditions and the conceptual design alternatives. The memorandum will identify potential permitting requirements and constructability considerations. The draft memorandum will be shared with the Project Team for review and comments. The memorandum will be finalized to reflect feedback from the Project team.
- 2.7 Prepare a PowerPoint presentation to present the project at a public meeting.
- 2.8 Conduct a hybrid progress meeting (in-person and virtual) with the Project Team to review conceptual plans, costs, and the PowerPoint slide deck for the in-person public meeting.

2.9 Attend one (1) in-person public meeting to present the ongoing work and conceptual design alternatives.

Fee and Payment

Environmental Partners proposes to perform the indicated scope of services as previously described for a lump sum fee of **Seventy-Five Thousand Dollars (\$75,000)**. A breakdown of the fee by task is as follows:

Task	Fee
Task 1 – Field Investigations	\$51,900.00
Task 2 – Conceptual Design	\$23,100.00
Total	\$75,000.00

Invoices will be issued to the Client on a monthly basis and will be based upon percentage complete per lump sum task identified above. The compensation indicated above is based on an estimate of the character and extent of work involved. Unforeseen conditions, which become evident during the course of the work, may alter or increase the effort required. The amount will not be exceeded without written amendment between the Client and Environmental Partners.

Project Schedule

Task 1, Field Investigations, will kick off within one month after an agreement is executed and will be subject to the availability of the surveyor. Task 1 is expected to be completed in 4-weeks. Task 2 will begin upon completion of Task 1. Task 2 is expected to be completed in 8-weeks.

The proposed fee and effort are based upon Environmental Partners' best faith effort to fully understand the needs of this proposal. If the scope of the services to be rendered is changed materially or if the period of time required to render services hereunder is extended beyond the completion dates proposed, the amount of compensation provided shall be adjusted appropriately (if required), upon approval of the Client and Environmental Partners. If project delays outside of Environmental Partners' control cause the completion date to extend substantially, additional compensation may be requested through a written amendment to account for additional coordination time.

Assumptions and Exclusions

- Major alterations to the final conceptual design drafts will be at an additional expense. Major alterations include changes to locations of major site features, such as modifying locations of parking areas, driveway locations, stormwater features, and added features not included in the RFQ or conceptual designs.
- The staking of the property bounds will be set at an approximate location by EP staff. These field markings will not be considered the legal boundary and should be used for planning purposes only. Property bounds should be set by a Professional Land Surveyor to be considered legal bounds.

- Meetings are assumed to be completed virtually unless stated otherwise in the scope above.
- This scope of services does not include:
 - Professional Wetland Delineation
 - Geotechnical Investigations
 - Final Design Services
 - Permitting Services
 - Bidding Phase Services
 - Construction Administration Services
- The Client will provide any available records plans, reports, photos, and any other available documents needed for the Scope of Services listed above.
- Police details are not anticipated and not included in this proposal. However, if police details are needed, the Client will pay for directly.

Acceptance

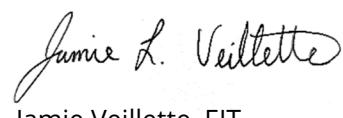
We look forward to working with you on this important project. We would be pleased to discuss the scope of services and proposal with you. If you find the proposed scope and fee acceptable, we can coordinate the preparation and execution of an Agreement. Environmental Partners is ready to begin work upon receipt of a notice to proceed or signed Agreement. Please feel free to contact us with any questions or concerns.

Sincerely,

Environmental Partners Group, LLC



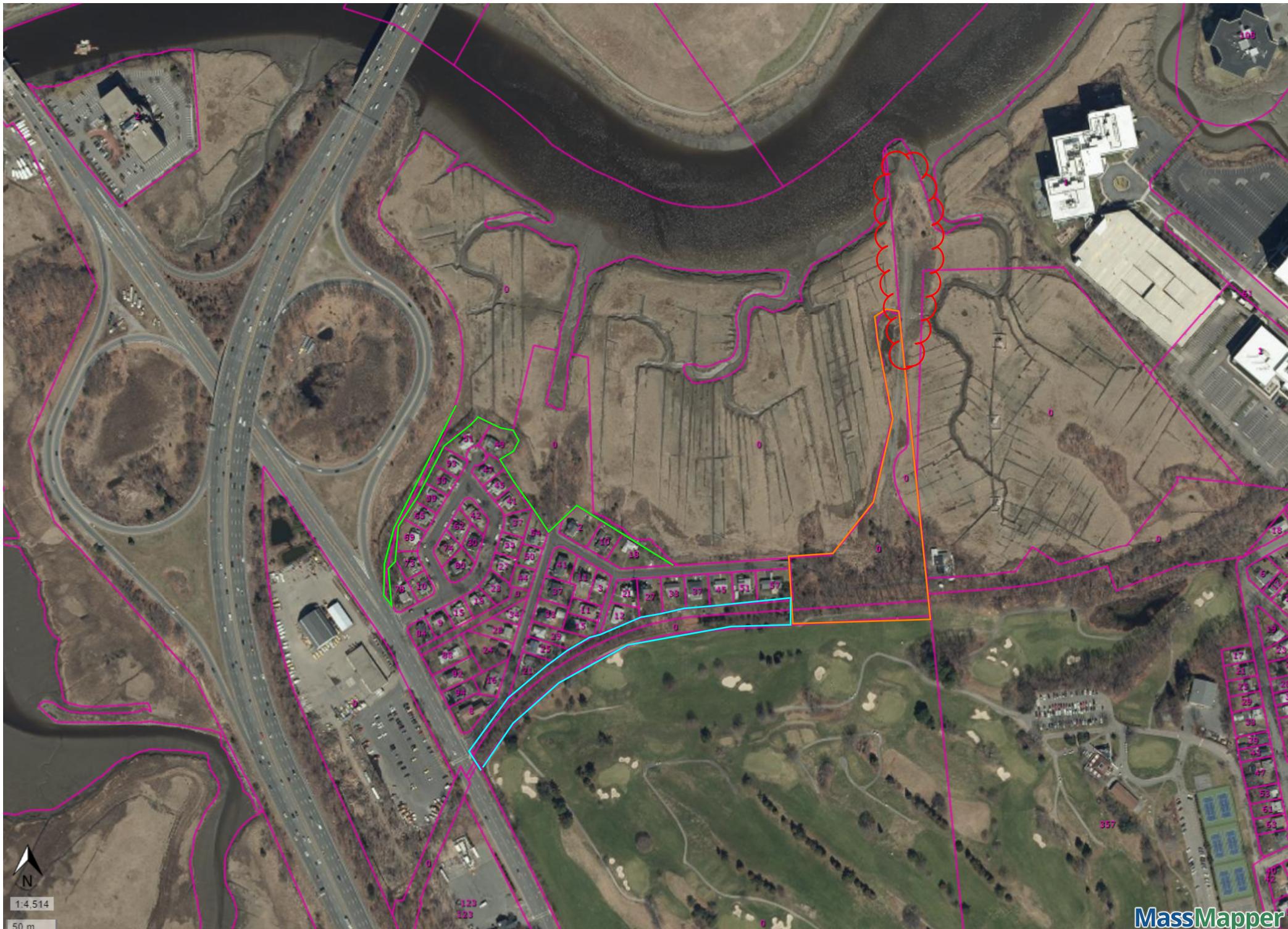
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Enc: Survey Figure

Milton Neponset River Estuary Survey Locus



Property Tax Parcels