

Tenant Alterations New Restaurant

10 Bassett Street
Milton, MA 02186

Date: Reissued For Permits 05 DEC 2024
Comm. No. 24111

Pando Associates Architects Inc.
Laurel Oak Farm - 481 York Street
Canton, Massachusetts 02021-2423

Tel: 781-828-8161 - Fax: 781-828-3902 - Web: pandoassociates.com



10 Bassett St
Milton, MA

Plan Code Review

1. Governing Code: IBC 2021 with MA amendments (MA 10th Ed), NFPA 101
2. Existing Building - 2 story, wood framed structure built in 1983, ADDITION 2024
3. Assessors DB information: 37,000 S.F. living.
4. N/A
5. Construction Classification type V b.
6. Existing Use Group: Mercantile M & A-2 Restaurant
7. Proposed Use Group - No Change
8. IBC 1103.1 Alterations shall comply with the provisions of IBC 2021. Alteration increases the Gravity load of the existing structure less than 5%
9. LEV 2 ALTERATION 403.3 Additional gravity loads for lift up will be less than 5% increase.
10. N/A
11. N/A
12. Fully sprinklered in compliance with Chapter 9
13. Permissible height and area limitations:
 - a. IBC 2015 Table 504.3 Allowable Building Height in Feet
 - i. S- 40 feet; Proposed < 30'-0" - OK
 - ii. ...
 - b. IBC 2015 Table 504.4 Allowable Number of Stories above grade plane
 - i. M - 2 stories; a-2-2 stories Actual 2 stories - OK
 - c. Area Limitations Table 506.2
 - ii. Allowable with frontage increase M - 36,000 s.f. plus 4,500 for S.F. frontage increase - Actual = < 36,000 OK

14. Occupancy Load for EGRESS
a. RESTAURANT 99 SEATS
14.1 N/A

15. Means of Egress
a. two exit required
b. SEE Diagram for details
ii. Minimum Width - NFPA 101 = 36" IBC 2021 36" OK
- 16.Plumbing Fixtures required for restaurant 99 seats
50 men 50 women - M 1 wc 1 sink W 2 wc 1 sink OK

17. ADA
- i. existing and proposed modifications to facility complies -




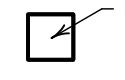


18. Fire Resistance Ratings of Building Elements: Table 601

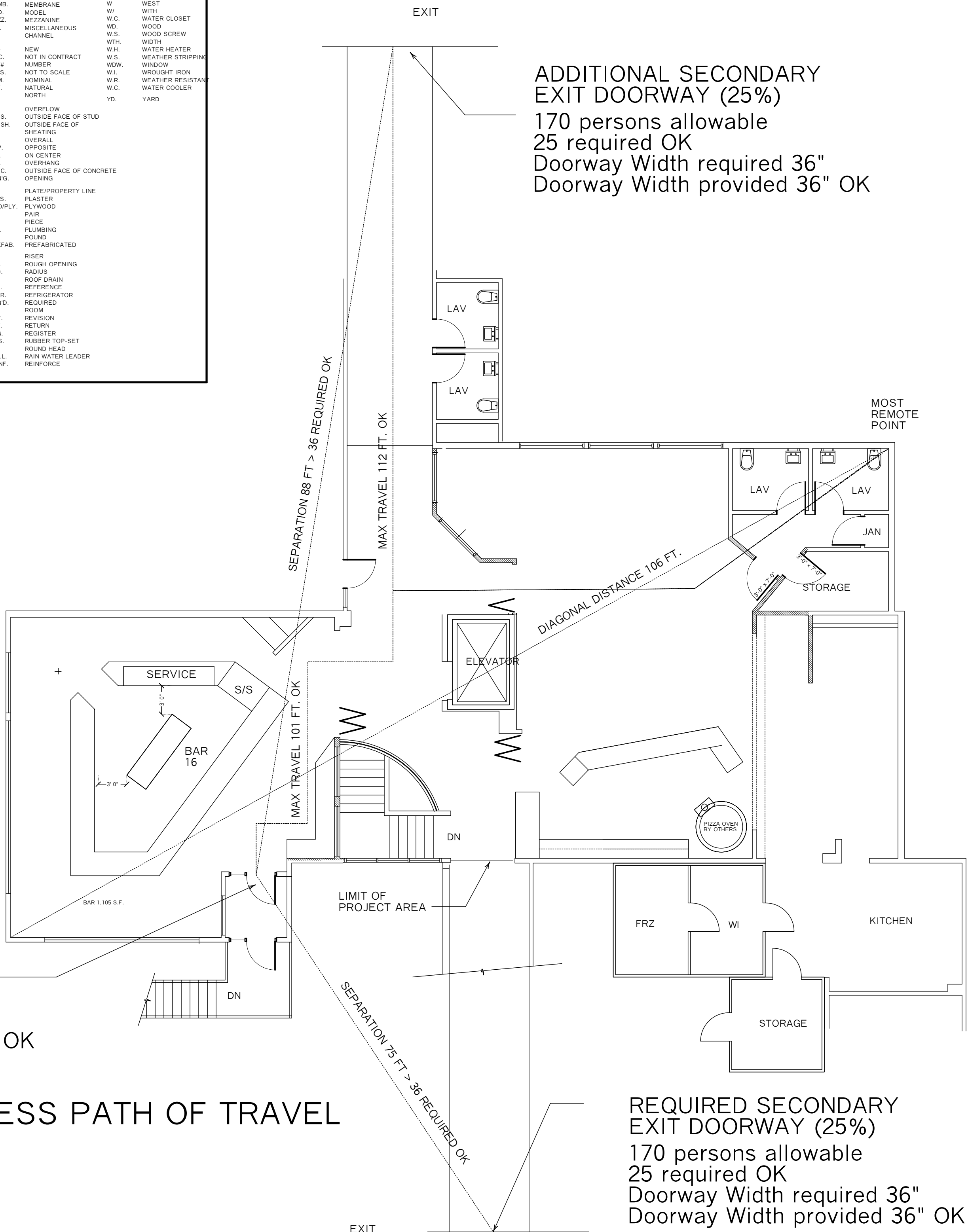
- a. Type VB Construction
- b. Exterior walls - 0 hrs.
- c. Primary Structural Frame - 0 hrs.
- d. Bearing Walls - 0 hrs.
- e. Non-Bearing walls and partitions - 0 hrs.
- f. Floor Construction - 0 hrs.
- g. Roof Construction - 0 hrs."

1. The contractor shall respect the area of work prior to commencement of construction and familiarize himself with all existing conditions that may affect the timely completion of the work.
2. Any conditions that have not been addressed in these notes or on the plans should be brought to the attention of the project manager for resolution prior to commencement of the work.
3. Coordinate Demolition and New Work among disciplines
4. Normal working hours shall be 8:00 to 5:00, Monday thru Friday except holidays. Coordinate work during non-normal hours with Project manager (PM) at least 72 hours in advance.
5. Existing facility to remain in-place and operational throughout construction. Coordinate construction activities and phasing with PM to minimize disruptions to owner's operations and access, and to ensure safety of people. Provide measures to prevent hazards to people, and damage to items to remain, including, but not limited to damage from dust and heat. Measures as required, shall include but are not limited to:
 - Temporary polyethylene-on-stud-framing dust partitions with operable access door - if required
 - Coordination of power shutdowns with PM
 - Protective coverings for equipment
 - Barrier walls and barricades
 - Temporary air conditioning for occupied enclosed spaces to maintain temperature
 - Coordination of the moving of existing HVAC equipment to ensure that required temperatures are maintained to allow proper operation of the facility
 - Other means as coordinated with PM
6. The contractor shall provide dust and debris control at every specific work site and shall prevent contamination of areas not under construction. Use wheeled containers with tightly fitted lids to transport construction debris, unopened , thru non-work areas, to the exterior of the building. Prevent dust and debris from entering HVAC intakes
7. Prevent damage to materials and finishes to remain (paint, wall coverings, base, ceiling, chair rails, etc.). Repair damages from construction activities to existing items to remain, at no additional cost to owner, where such exposed materials or finishes to remain are damaged or left with holes by construction activities. Repair, replace or infill such materials and finishes to match existing in material, size, alignment, finish, color, texture and quality. Repair and change new finish (e.g. change of materials or corners). Patch repairs will not be accepted unless specifically noted. Submit samples of materials proposed for repairs to PM for written approval prior to ordering materials.
8. Remove completely materials as indicated on the drawing and as required for new construction. Edges and faces of demolished areas shall be repaired to accept neat installation of new construction. Existing materials that are to be replaced (walls, roofing, insulation, flooring, etc.) existing materials shall be repaired as recommended by manufacturer prior to installation of new materials.
9. Where holes in existing walls and slabs are created for conduit, duct, or pipe penetrations, coordinate size and location of such work with installers of such pipe, conduit, duct and equipment
10. Opening created in slabs, partitions, or fire rated partitions by this work shall be repaired using technique and materials to maintain fire rating of the wall, including but not limited to, smoke dampers, fire dampers, fire stopping, and fire safing. Penetrations of masonry walls and concrete floors shall be stopped to a minimum 2 hour rating.
11. Patch holes caused by the removal of equipment, piping, conduit, grills, etc. with materials matching existing slab or wall in structure, material, thickness, alignment, grades and quality.
12. Field verify existing dimensions prior to ordering or cutting materials.
13. Metal studs used for repairs of existing metal stud construction shall be minimum 20 GA. Galvanized.


MEANS OF EGRESS PATH OF TRAVEL

- Cover
- N- Code/Notes
- D-1.0 Demolition Floor Plan
- A-1.0 Existing Floor Plan
- A-1.1 New Floor Plan
- A-1.2 Reflected Ceiling Plan
- A-1.3 Floor Finishes Plan
- A-2.0 Interior Elevations
- EQ-1 Furniture & Equipment Plan
- EQ-2 Millwork Details

SYMBOLS	
MARK	SYMBOL
	SECTION
	DETAIL
	WALL
	NOTE
	DOOR, WINDOW
	ELEVATION



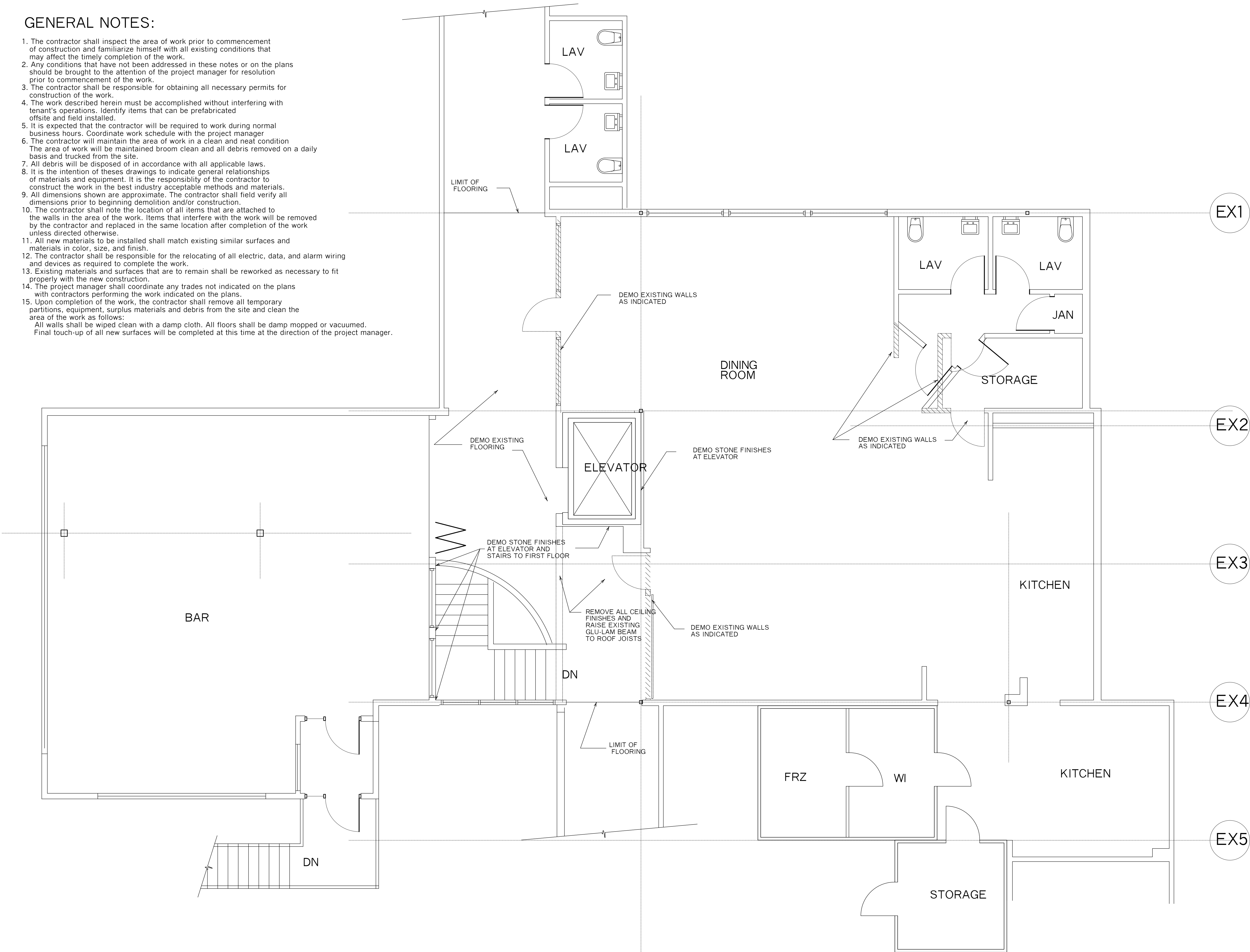
REQUIRED SECONDARY
EXIT DOORWAY (25%)
170 persons allowable
25 required OK
Doorway Width required 36"
Doorway Width provided 36" OK

Steve Todisco Restaurant Design Group, Inc.		pando associates architects, inc.	laurel oak farm - 481 york street canton, ma 02021-2423 tel.: 781-828-6101 fax: 781-828-3002	
stevetodisco.rdg@gmail.com 617-877-6453		www.pandosociates.com	Notes & Code Review East Milton Square 10 Bassett Street Milton, MA 02186	Revisions : Checked By : GLP Drawn By : .. Scale : AS NOTED Date : 7-01-2024 Job No : 24111 Dwg. No. N

REISSUED FOR
PERMITS
12-05-2024

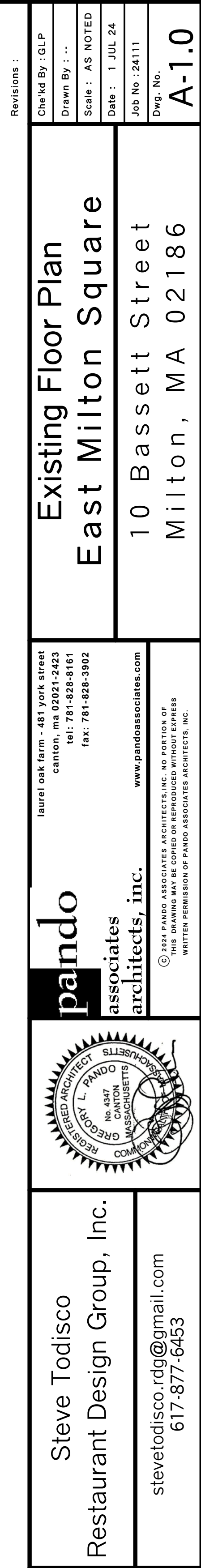
GENERAL NOTES:

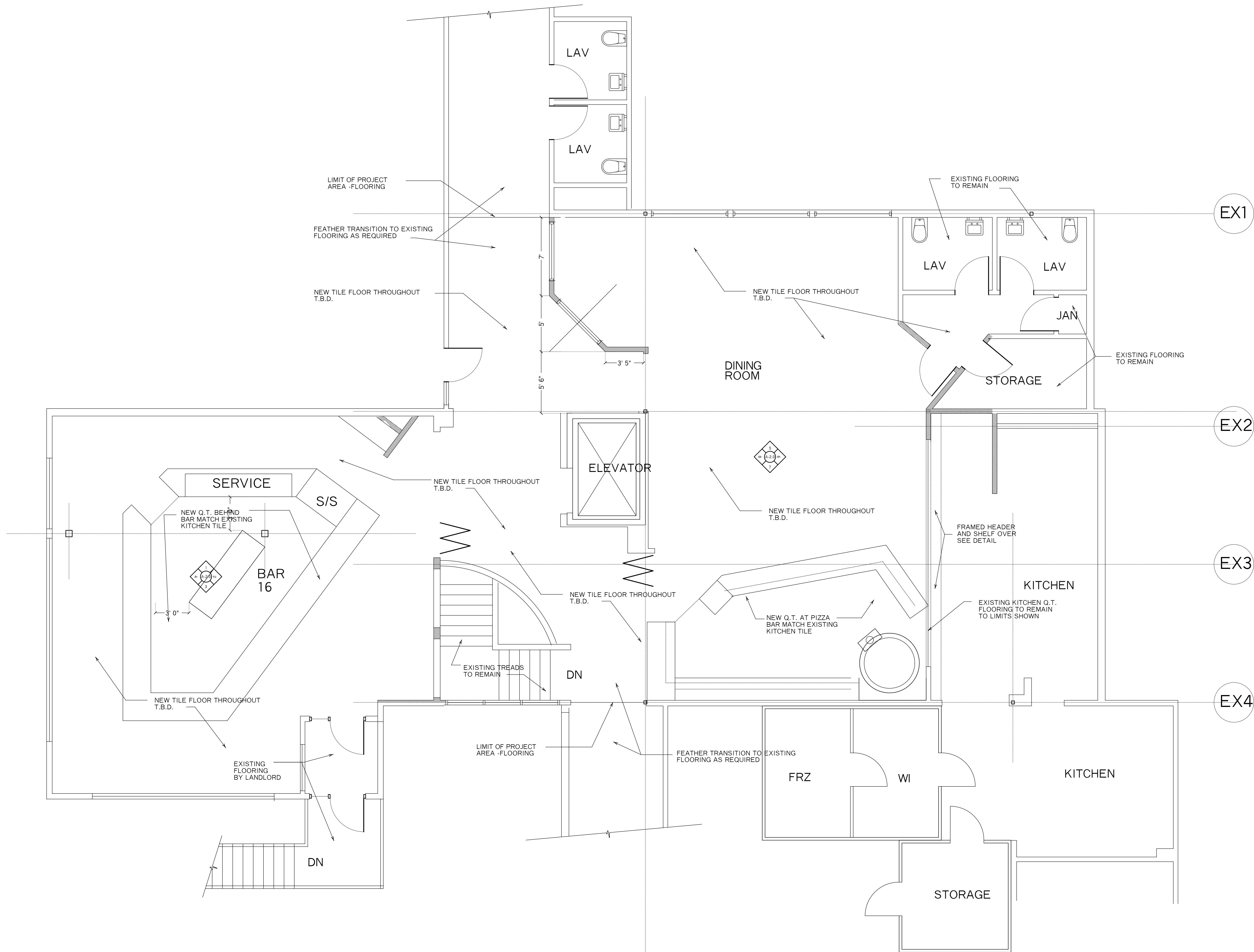
1. The contractor shall inspect the area of work prior to commencement of construction and familiarize himself with all existing conditions that may affect the timely completion of the work.
2. Any conditions that have not been addressed in these notes or on the plans should be brought to the attention of the project manager for resolution prior to commencement of the work.
3. The contractor shall be responsible for obtaining all necessary permits for construction of the work.
4. The work described herein must be accomplished without interfering with tenant's operations. Identify items that can be prefabricated offsite and field installed.
5. It is expected that the contractor will be required to work during normal business hours. Coordinate work schedule with the project manager.
6. The contractor will maintain the area of work in a clean and neat condition. The area of work will be maintained broom clean and all debris removed on a daily basis and trucked from the site.
7. All debris will be disposed of in accordance with all applicable laws.
8. It is the intention of these drawings to indicate general relationships of materials and equipment. It is the responsibility of the contractor to construct the work in the best industry acceptable methods and materials.
9. All dimensions shown are approximate. The contractor shall field verify all dimensions prior to beginning demolition and/or construction.
10. The contractor shall note the location of all items that are attached to the walls in the area of the work. Items that interfere with the work will be removed by the contractor and replaced in the same location after completion of the work unless directed otherwise.
11. All new materials to be installed shall match existing similar surfaces and materials in color, size, and finish.
12. The contractor shall be responsible for the relocating of all electric, data, and alarm wiring and devices as required to complete the work.
13. Existing materials and surfaces that are to remain shall be reworked as necessary to fit properly with the new construction.
14. The project manager shall coordinate any trades not indicated on the plans with contractors performing the work indicated on the plans.
15. Upon completion of the work, the contractor shall remove all temporary partitions, equipment, surplus materials and debris from the site and clean the area of the work as follows:
All walls shall be wiped clean with a damp cloth. All floors shall be damp mopped or vacuumed.
Final touch-up of all new surfaces will be completed at this time at the direction of the project manager.



Revisions :	
Checked By : GLP	Drawn By : ..
Scale : AS NOTED	Date : 7-01-2024
Job No : 24111	Dwg. No. : D-1.0
Demolition Floor Plan East Milton Square	
10 Bassett Street Milton, MA 02186	
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	Dwg. No. A-1.3

Floor Finishes Plan
East Milton Square
10 Bassett Street
Milton, MA 02186

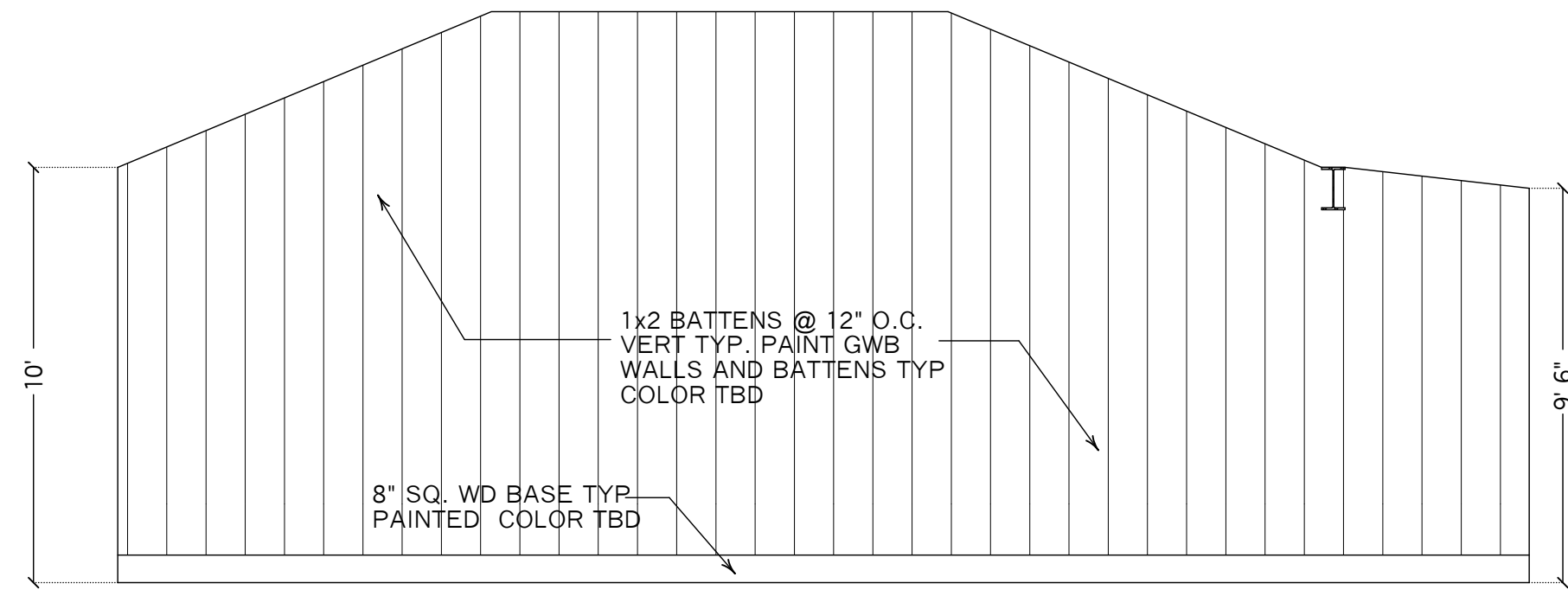
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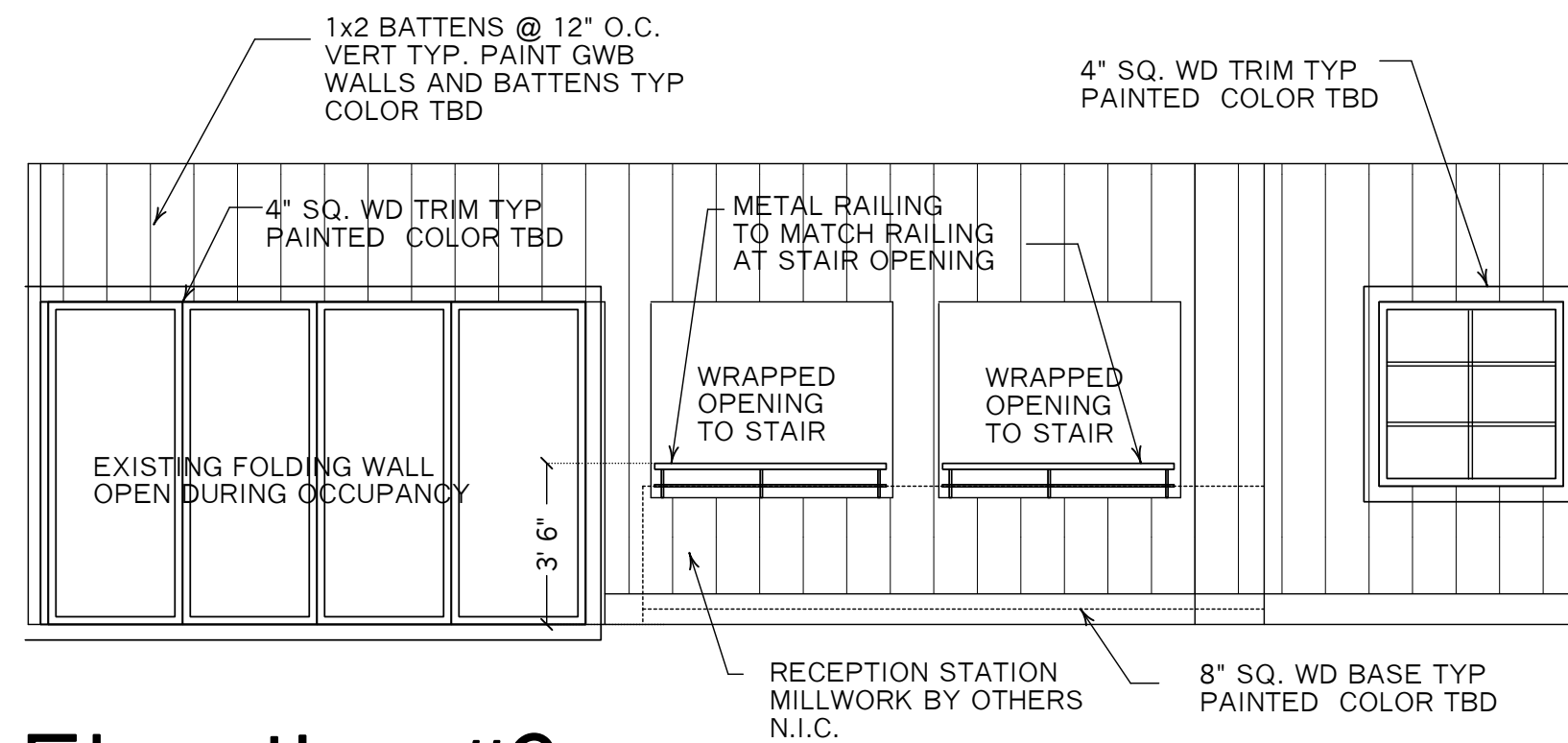
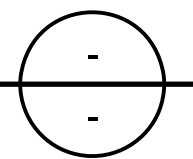
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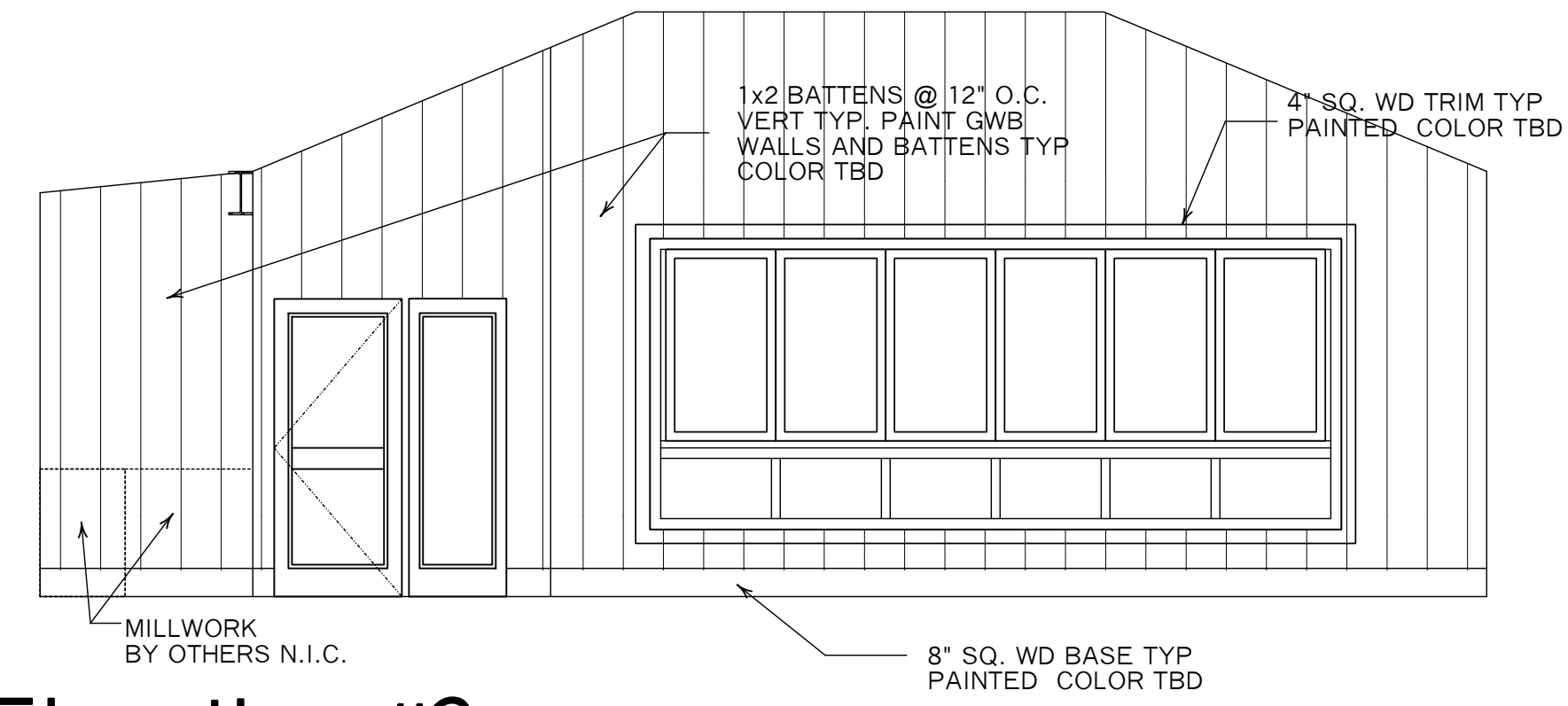
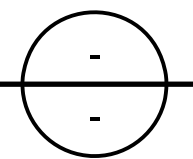
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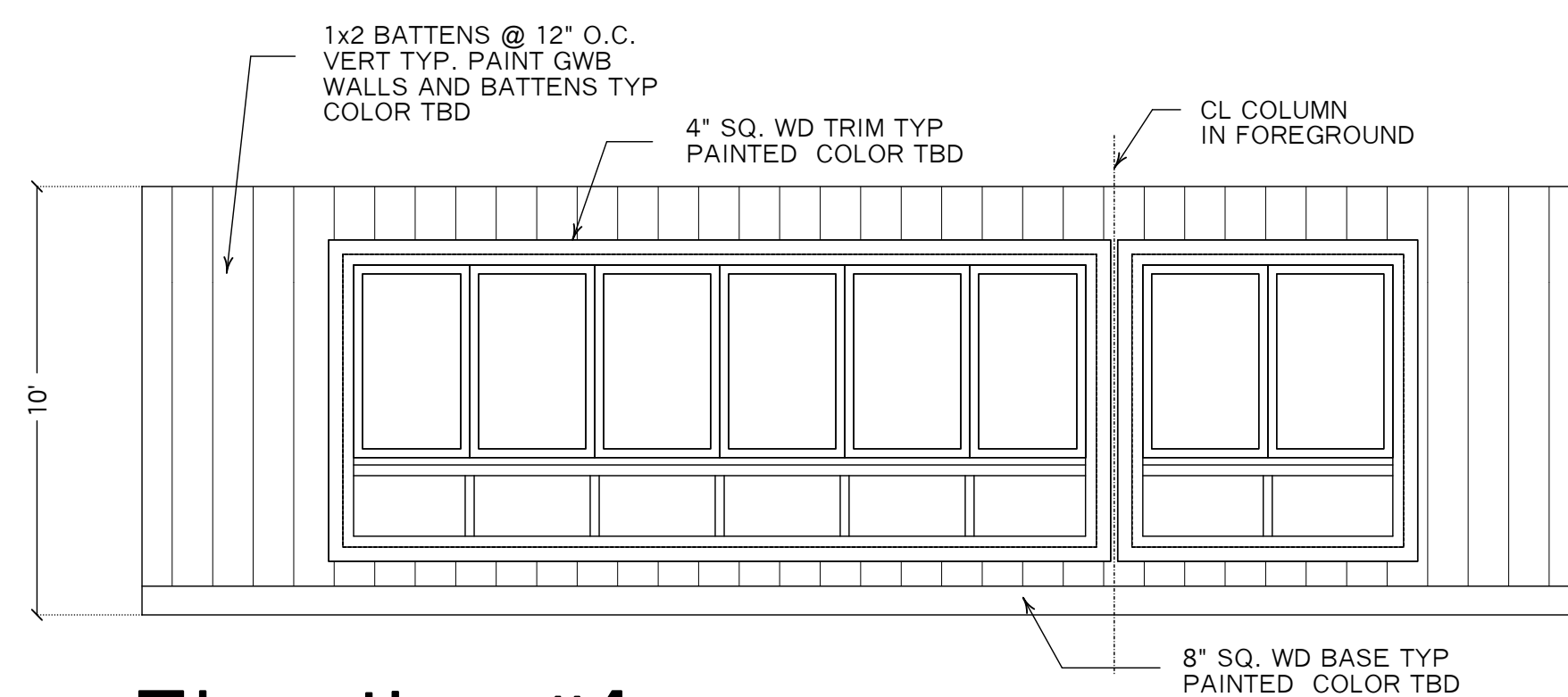
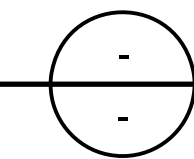
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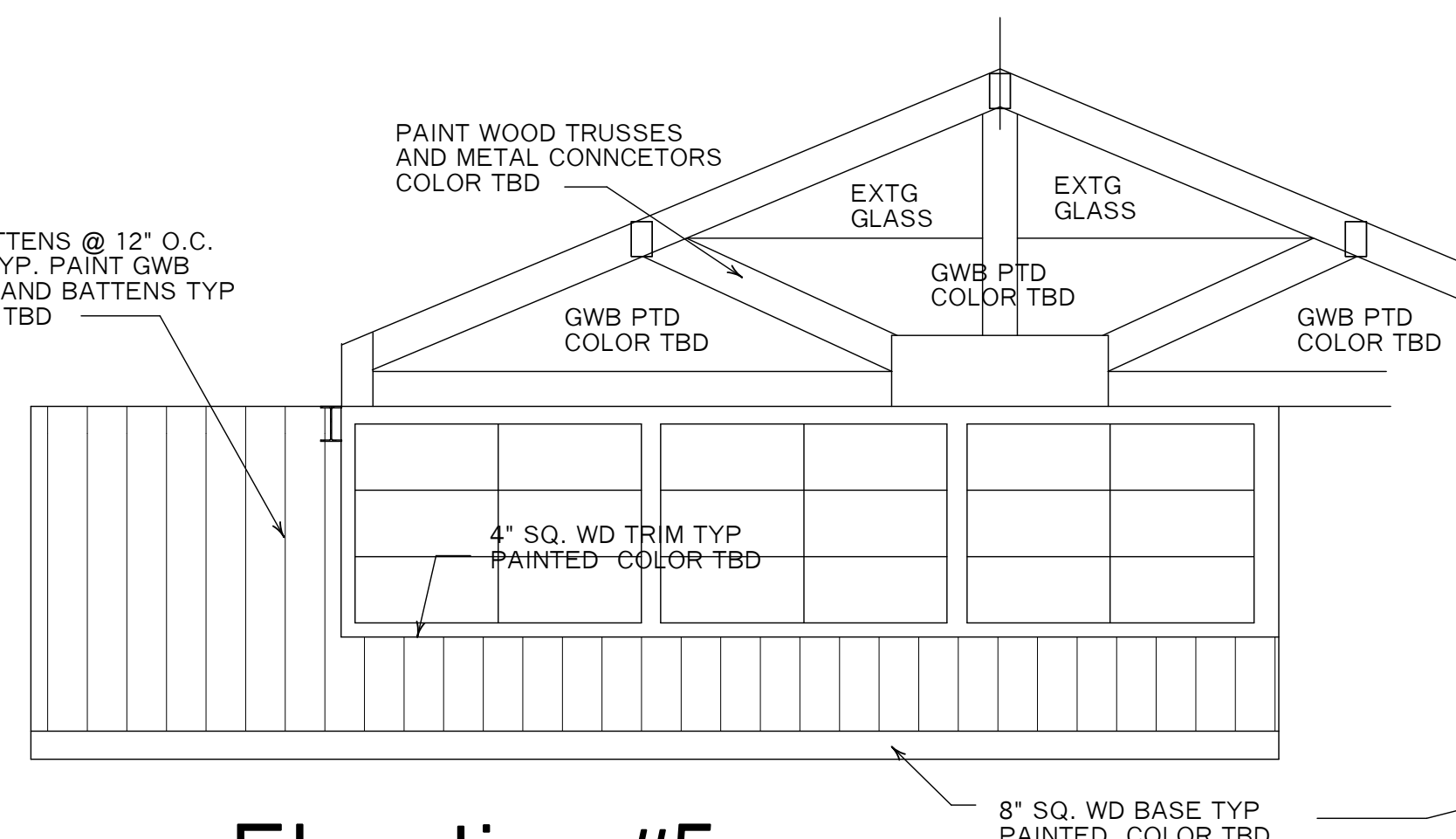
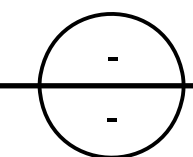
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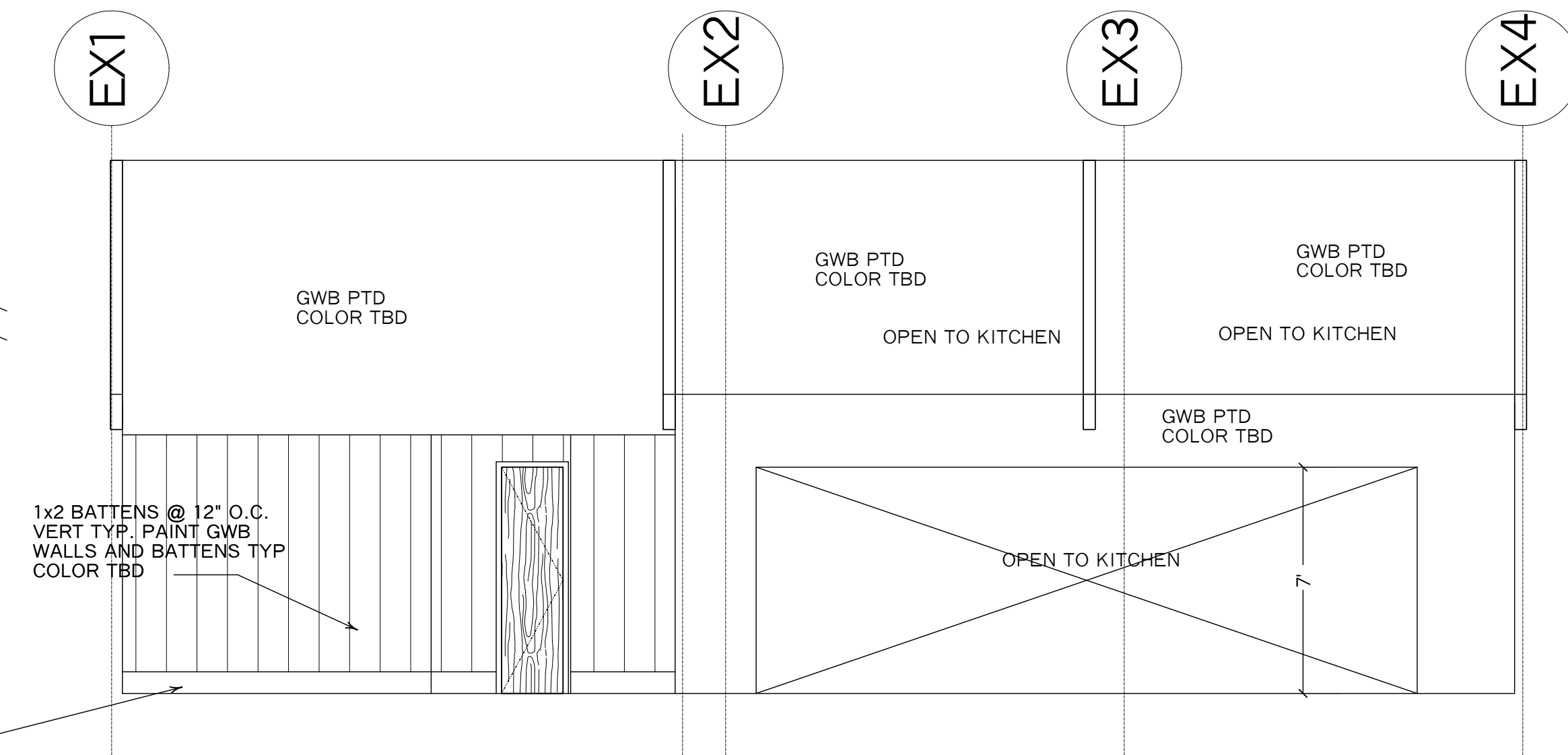
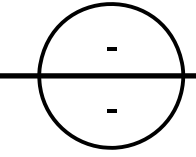
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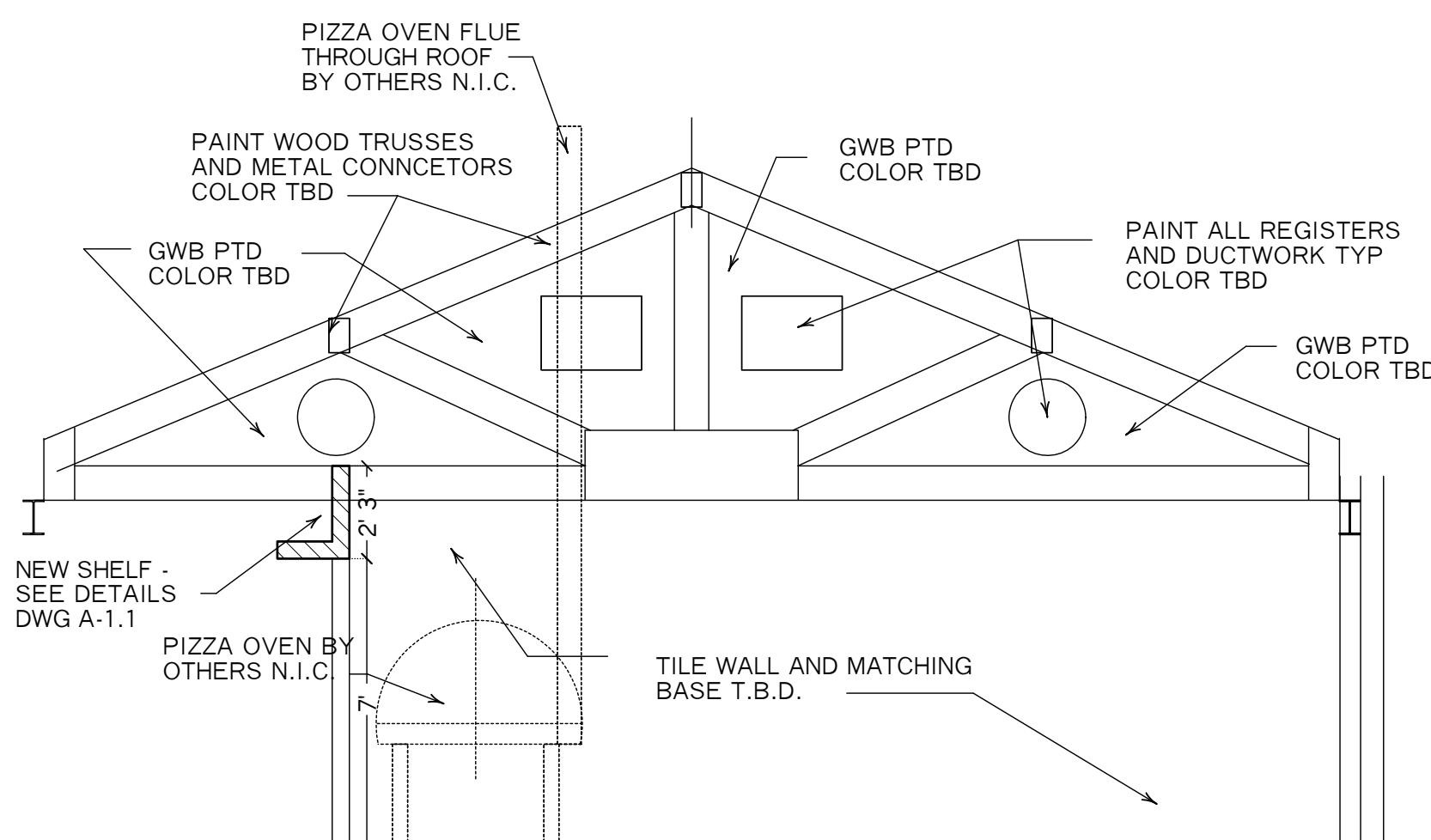
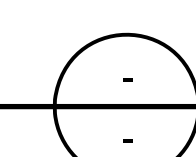
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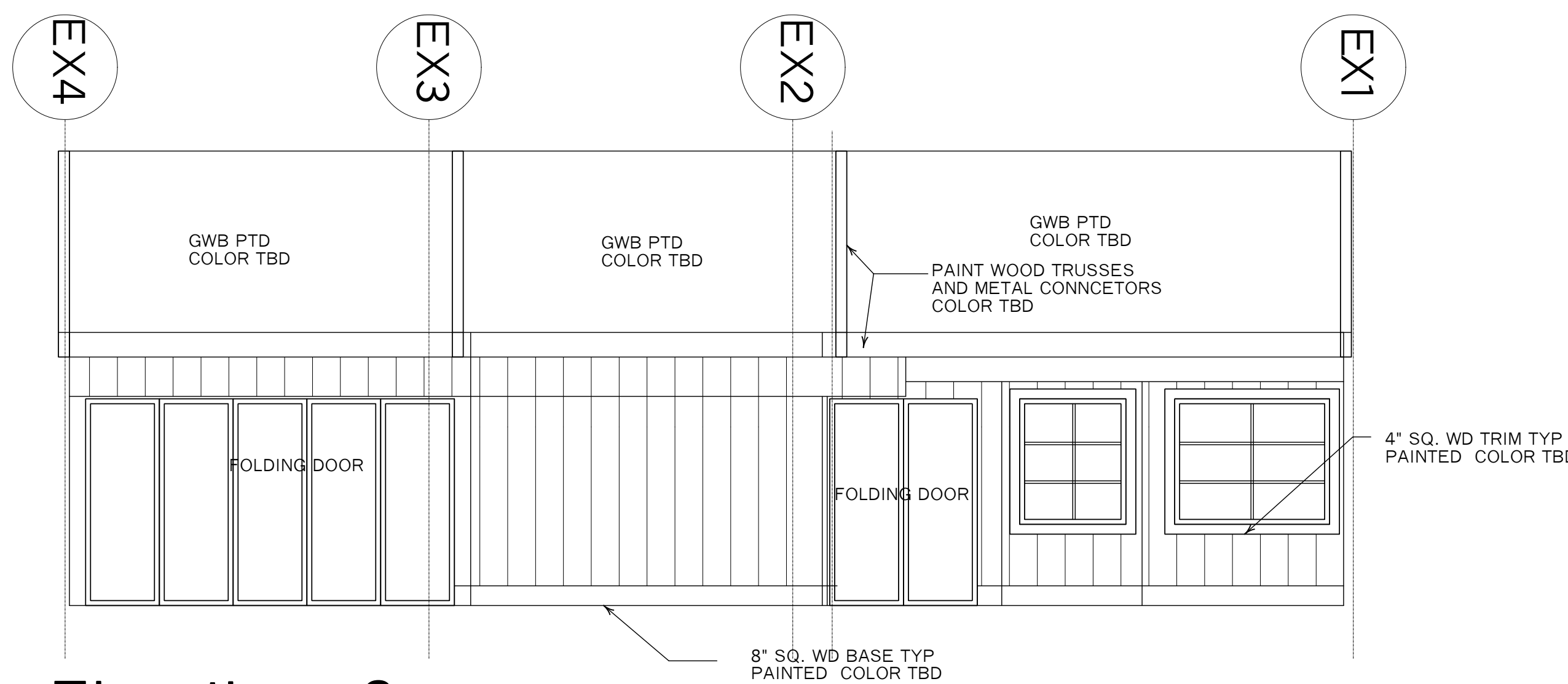
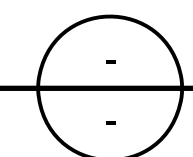
Elevation #6

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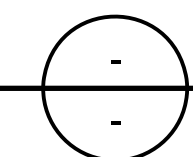
Elevation #7

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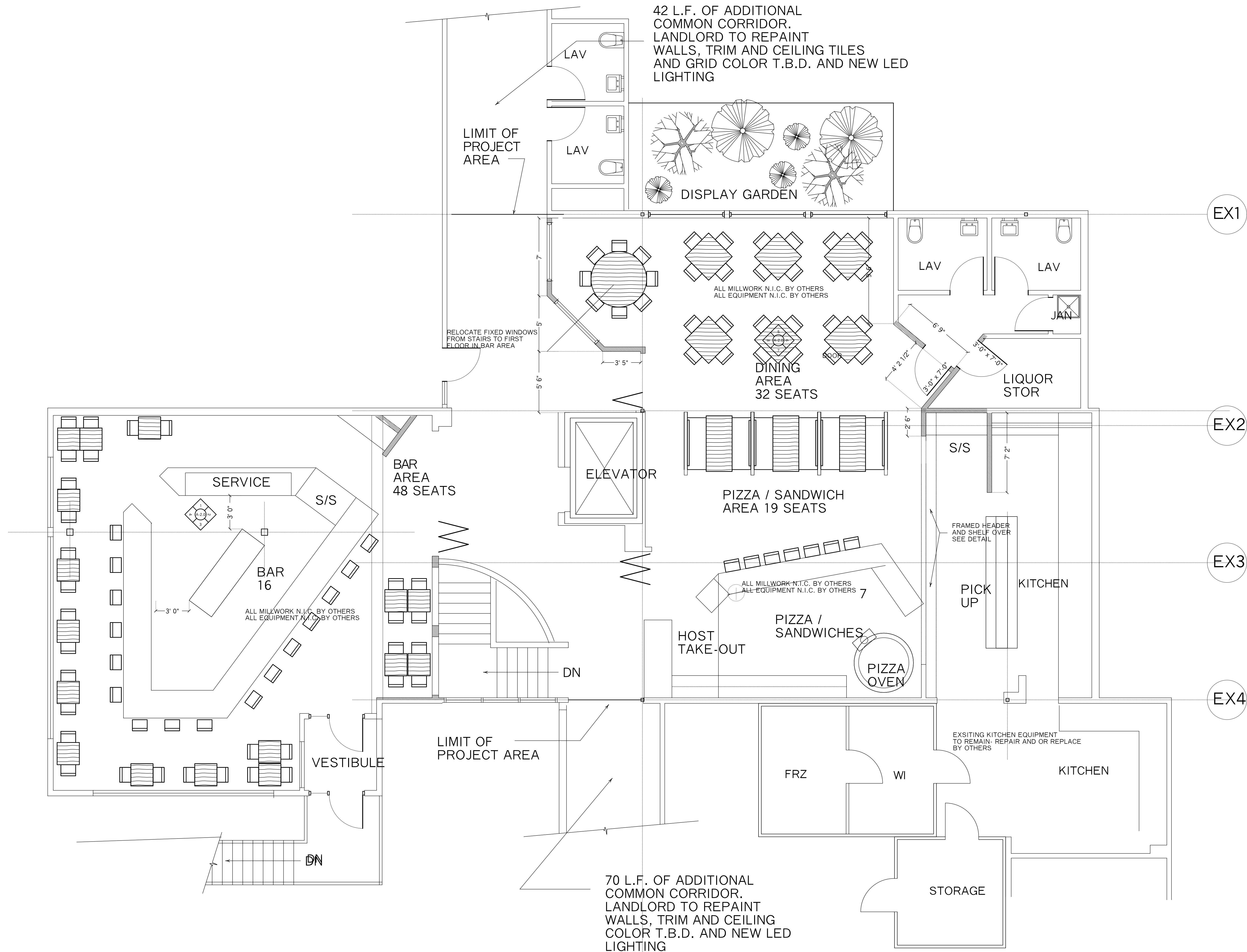


Elevation #8

Scale : 1/4" = 1'-0"



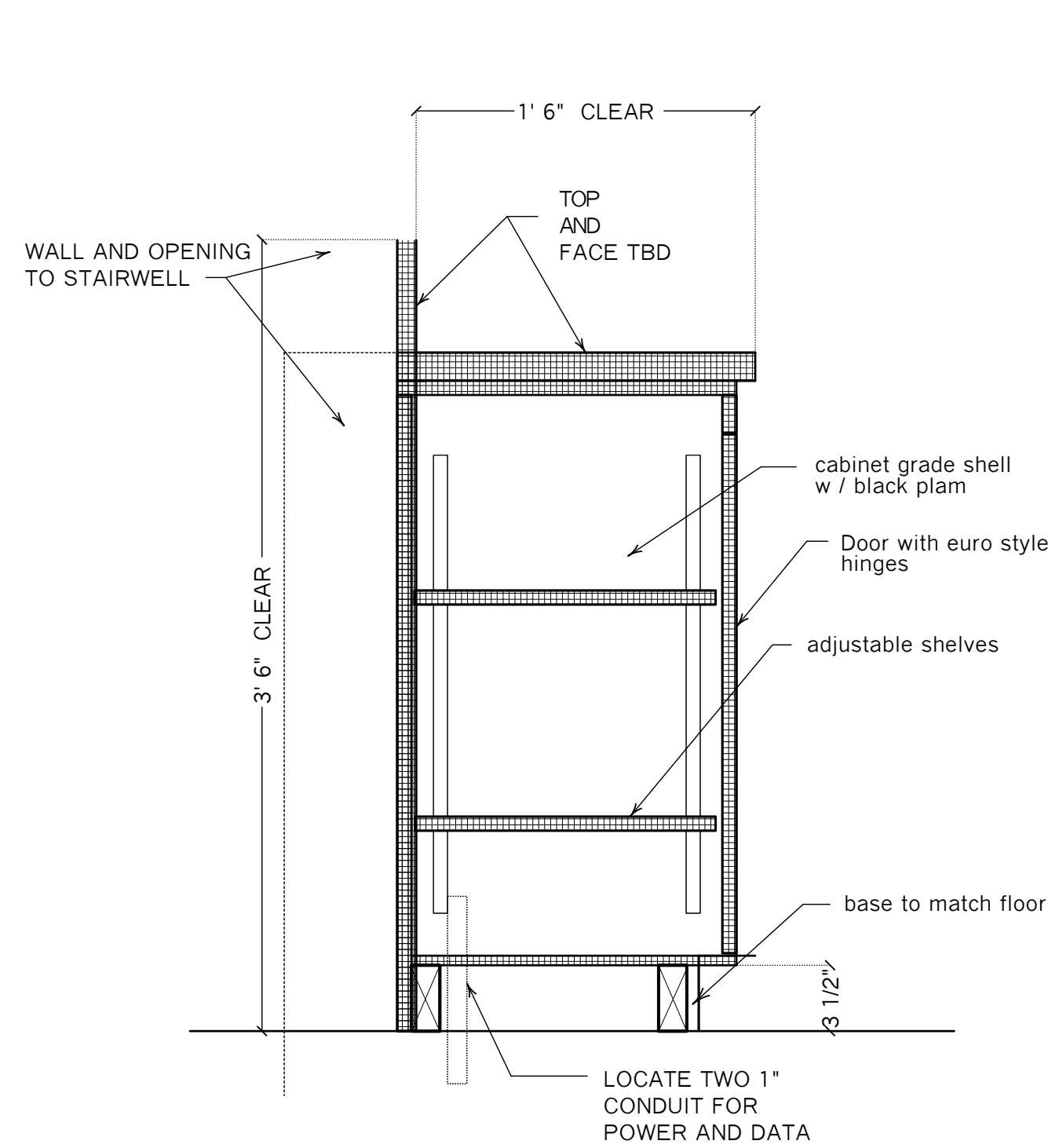
Revisions :	
Checked By : GLP	Drawn By : ..
Scale : AS NOTED	Date : 01 JUL 24
Job No : 24111	Dwg No. A-2.0
Interior Elevations East Milton Square 10 Bassett Street Milton, MA 02186	
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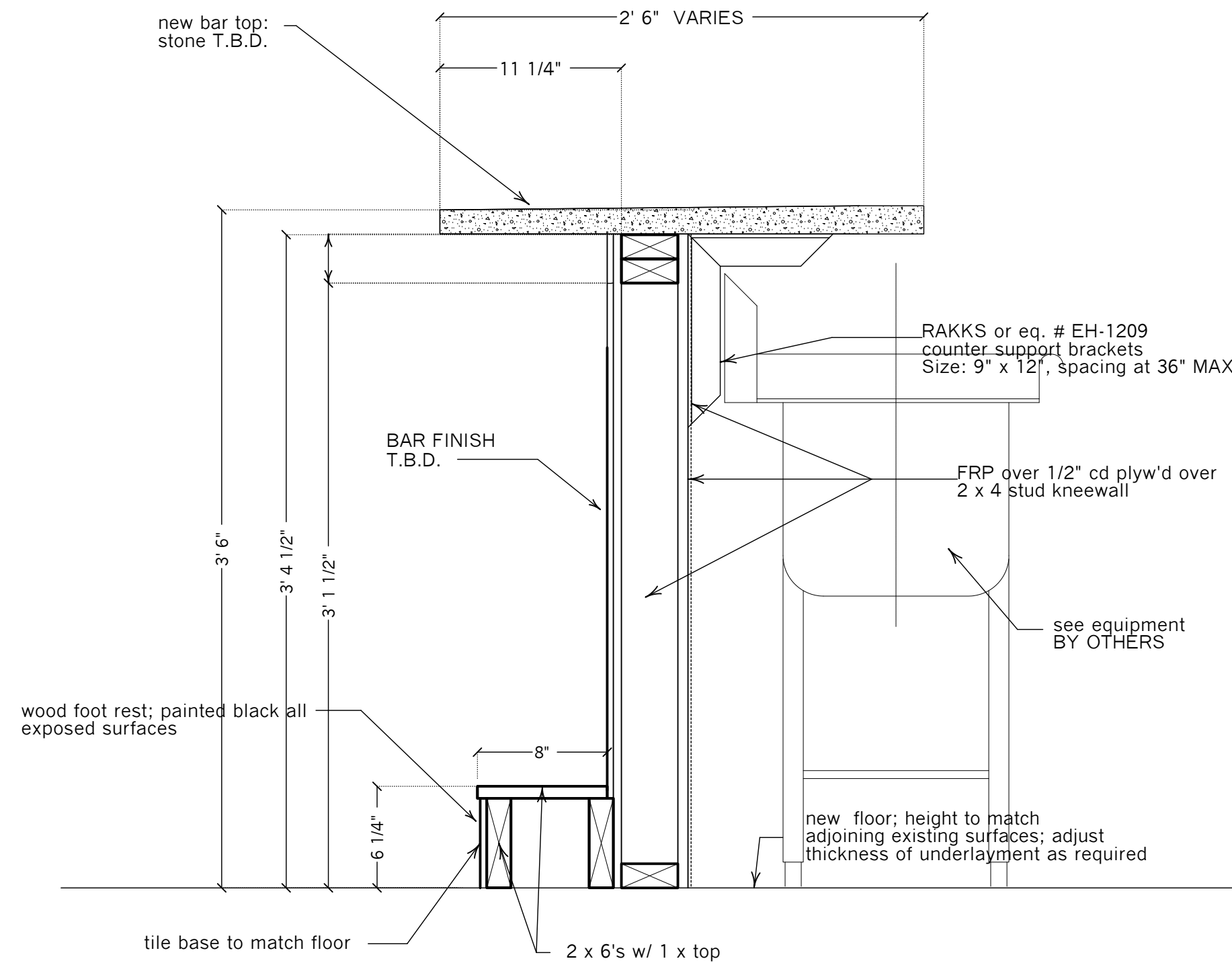
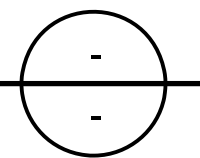
AREA:
RESTAURANT 2,380 S.F.
BAR 1,105 S.F.
TOTAL AREA 3,485 S.F.
99 SEATS

Revisions :	
Checked By : GLP	Drawn By : MM
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Furniture & Equipment Plan East Milton Square	
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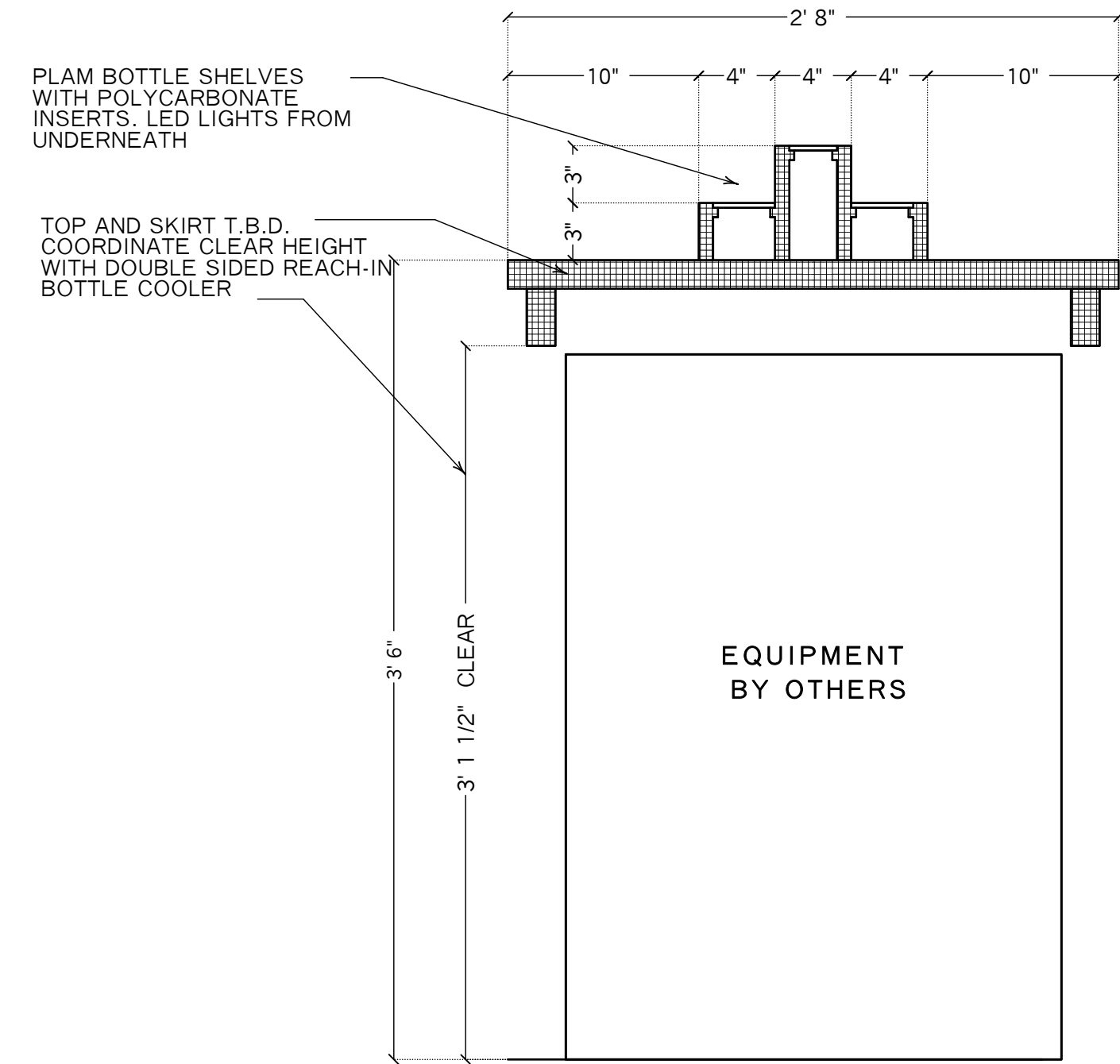
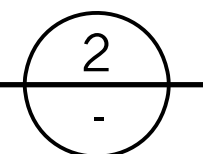
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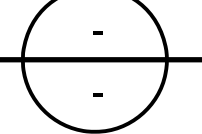
Section Host
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Section Bar
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Section Backbar
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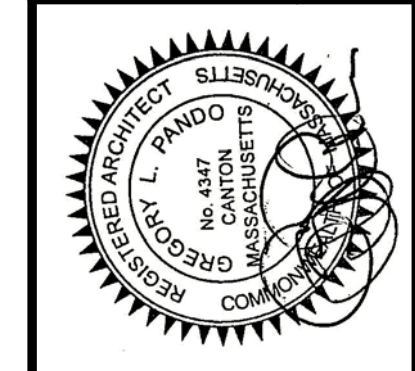


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	Date : 1 JUL 24
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Millwork Details Plan
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10 Bassett Street Milton, MA 02186

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