

Tenant Alterations New Restaurant

10 Bassett Street
Milton, MA 02186

Date: Reissued For Permits 05 DEC 2024
Comm. No. 24111

Pando Associates Architects Inc.
Laurel Oak Farm - 481 York Street
Canton, Massachusetts 02021-2423

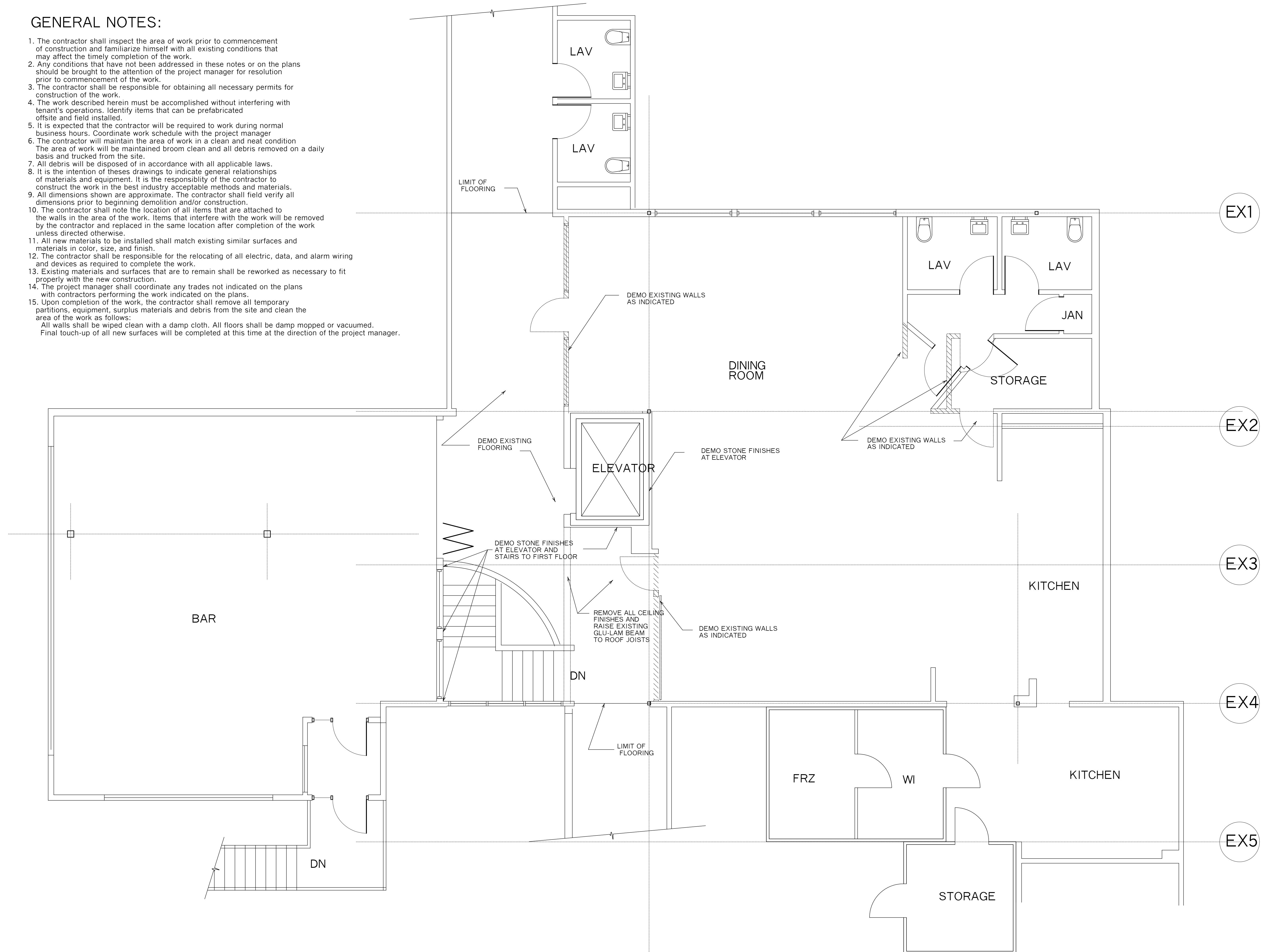
Tel: 781-828-8161 - Fax: 781-828-3902 - Web: pandoassociates.com



GENERAL NOTES:

- The contractor shall inspect the area of work prior to commencement of construction and familiarize himself with all existing conditions that may affect the timely completion of the work.
- Any conditions that have not been addressed in these notes or on the plans should be brought to the attention of the project manager for resolution prior to commencement of the work.
- The contractor shall be responsible for obtaining all necessary permits for construction of the work.
- The work described herein must be accomplished without interfering with tenant's operations. Identify items that can be prefabricated offsite and field installed.
- It is expected that the contractor will be required to work during normal business hours. Coordinate work schedule with the project manager.
- The contractor will maintain the area of work in a clean and neat condition. The area of work will be maintained broom clean and all debris removed on a daily basis and trucked from the site.
- All debris will be disposed of in accordance with all applicable laws.
- It is the intention of these drawings to indicate general relationships of materials and equipment. It is the responsibility of the contractor to construct the work in the best industry acceptable methods and materials.
- All dimensions shown are approximate. The contractor shall field verify all dimensions prior to beginning demolition and/or construction.
- The contractor shall note the location of all items that are attached to the walls in the area of the work. Items that interfere with the work will be removed by the contractor and replaced in the same location after completion of the work unless directed otherwise.
- All new materials to be installed shall match existing similar surfaces and materials in color, size, and finish.
- The contractor shall be responsible for the relocating of all electric, data, and alarm wiring and devices as required to complete the work.
- Existing materials and surfaces that are to remain shall be reworked as necessary to fit properly with the new construction.
- The project manager shall coordinate any trades not indicated on the plans with contractors performing the work indicated on the plans.
- Upon completion of the work, the contractor shall remove all temporary partitions, equipment, surplus materials and debris from the site and clean the area of the work as follows:

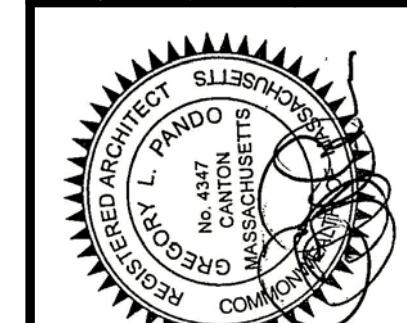
All walls shall be wiped clean with a damp cloth. All floors shall be damp mopped or vacuumed. Final touch-up of all new surfaces will be completed at this time at the direction of the project manager.

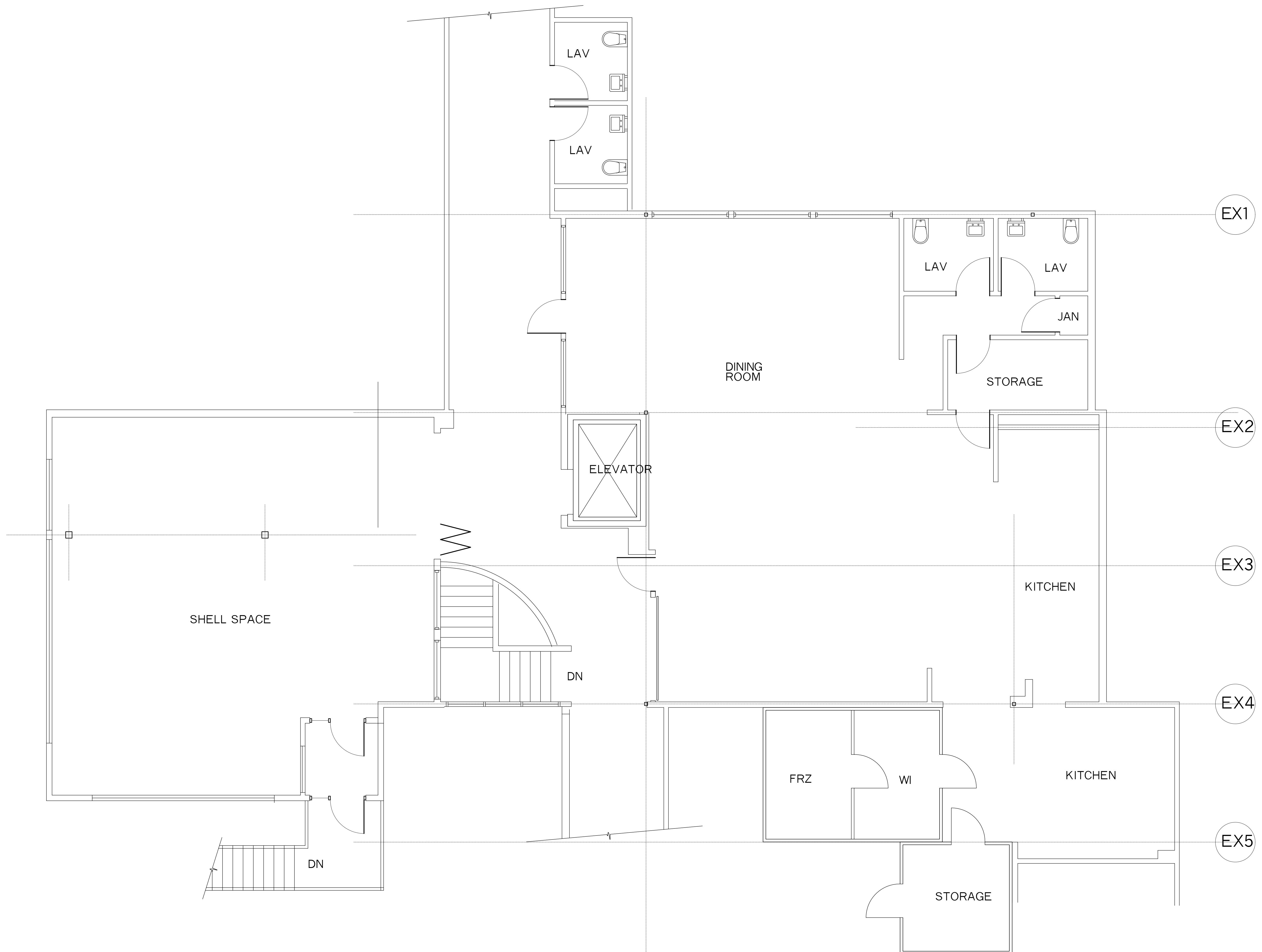


Revisions :	Check By : GLP
Drawn By : ..	Drawn By : ..
Scale : AS NOTED	Scale : AS NOTED
Date : 7-01-2024	Date : 7-01-2024
Job No : 24111	Job No : 24111
Dwg. No. D - 1 . 0	Dwg. No. D - 1 . 0

pando associates architects, inc.	Isarel oak farm - 481 york street canton, ma 02021-2423 tel: 781-326-8161 fax: 781-326-3902
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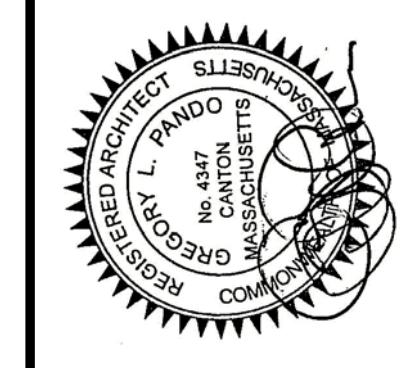
Steve Todisco Restaurant Design Group, Inc. stevetodisco.rdg@gmail.com 617-377-6453	REISSUED FOR PERMITS 12-05-2024
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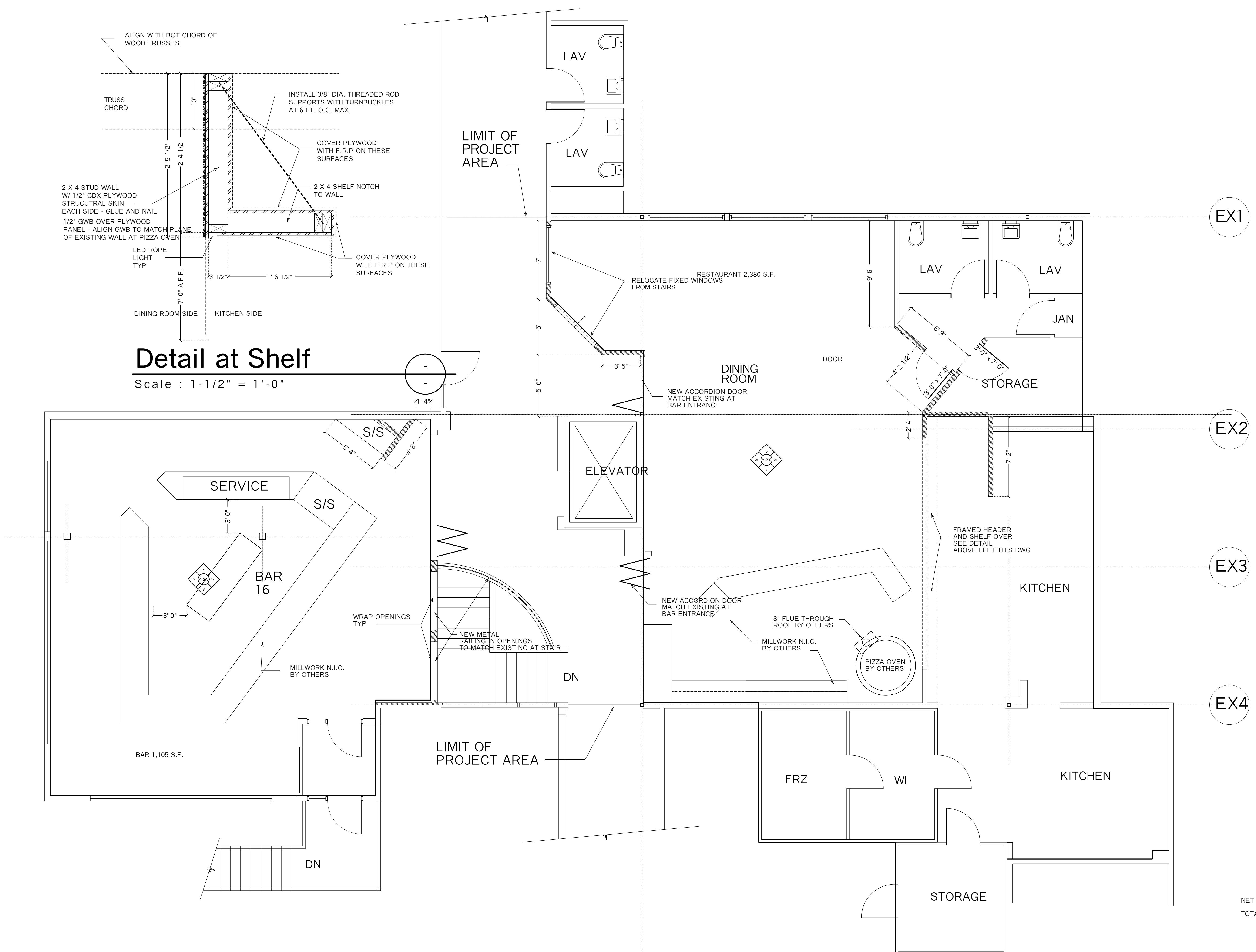


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12-05-2024

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Revisions :					
Existing Floor Plan	Chkd By : GLP				
East Milton Square	Drawn By : - -				
	Scale : AS NOTED				
	Date : 1 JUL 24				
10 Bassett Street	Job No : 24111				
Milton, MA 02186	Dwg. No.				
	A-1.0				



New Floor Plan	
East Milton Square	
10 Bassett Street	Milton, MA 02186
10 Bassett Street	Milton, MA 02186
10 Bassett Street	Milton, MA 02186

The image shows a detailed architectural drawing of a building elevation. The drawing includes a roof plan with various sections labeled A through K. Below the roof, the building's facade features a central entrance with a double door, flanked by sidelights and a transom window. The facade is divided into sections by vertical and horizontal lines, suggesting a grid or a series of windows and doors. The drawing is signed 'Pando Associates, Inc.' in the bottom right corner.

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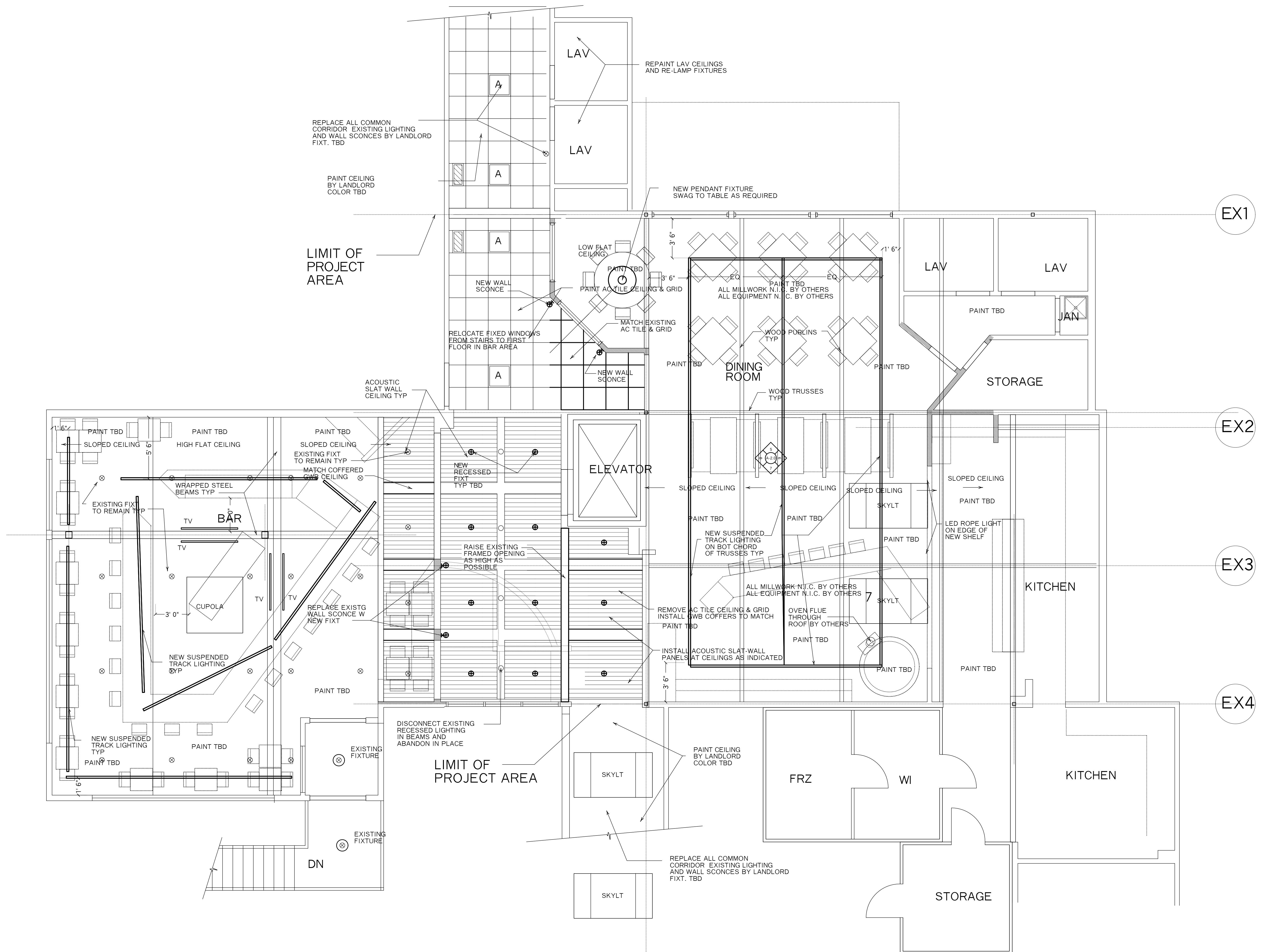
A circular registration stamp for a registered architect. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "MASSACHUSETTS" at the bottom. The inner circle contains "REG. NO. 4347" in the center, surrounded by "GREGORY L. PANDO" at the top, "CANTON" in the middle, and "MASSACHUSETTS" at the bottom. The bottom half of the inner circle is partially obscured by a large, hand-drawn circle with a jagged, star-like border.

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ET AREA ; RESTAURANT 2,380 S.F.
BAR 1,105 S.F.
OTAL AREA 3,485 S.F.



Reflected Ceiling Plan
East Milton Square

10 Bassett Street
Milton, MA 02186

Dwg. No. A-1.2

Revisions:
Checked By: GLP
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Scale: AS NOTED
Date: 7-01-2024
Job No. 24111
Dwg. No. A-1.2

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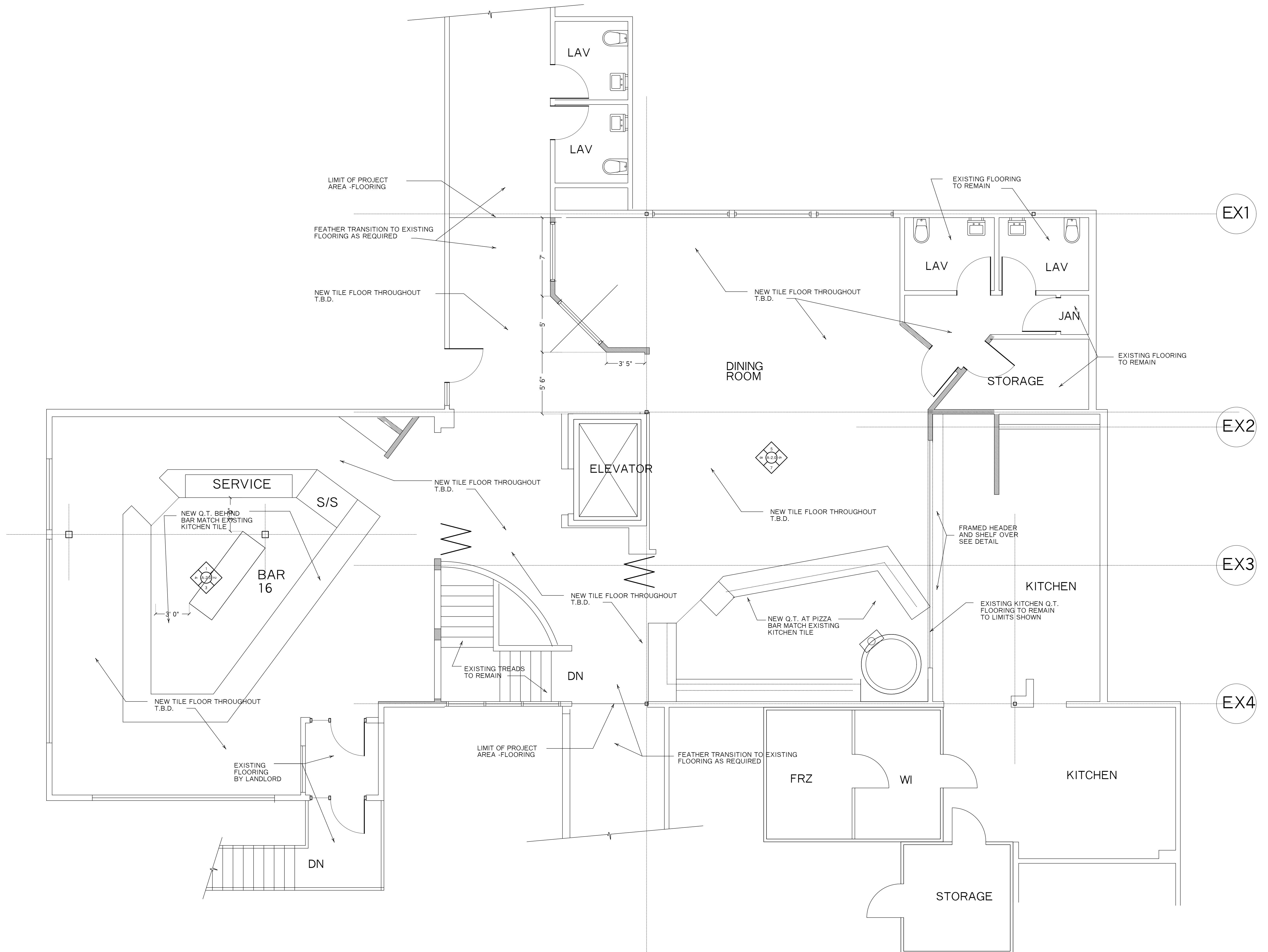


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	MASSACHUSETTS COMMONWEALTH PRESERVE AND L. PANDO ASSOCIATES CANTON No. 1347	
Floor Finishes Plan East Milton Square	10 Bassett Street Milton, MA 02186	Revisions: Checked By: GLP Drawn By: ... Scale: AS NOTED Date: 7-01-2024 Job No: 24111 Dwg. No: A-1.3

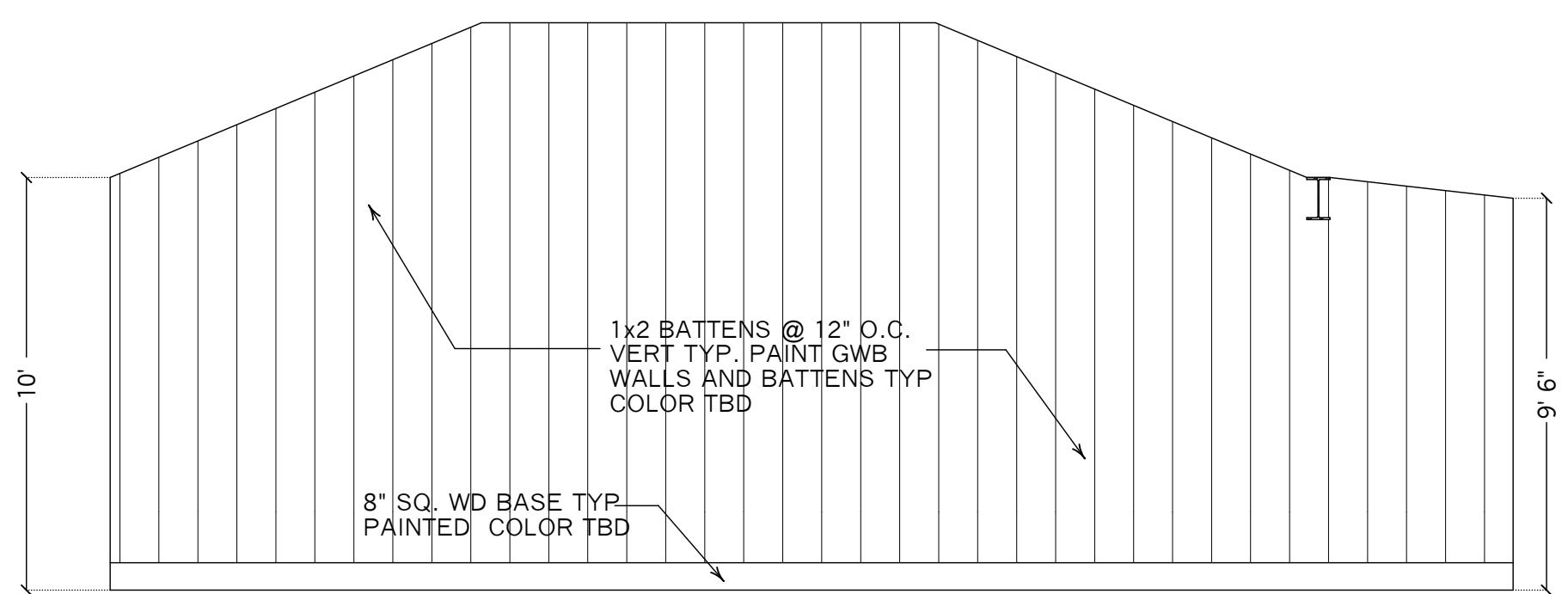
Revisions :			
Chkd By : GLP			
Drawn By : ..			
Scale : AS NOTED			
Date : 01 JUL 24			
Job No : 24111			
Dwg. No : A-2.0			

Interior Elevations
East Milton Square
10 Bassett Street
Milton, MA 02186

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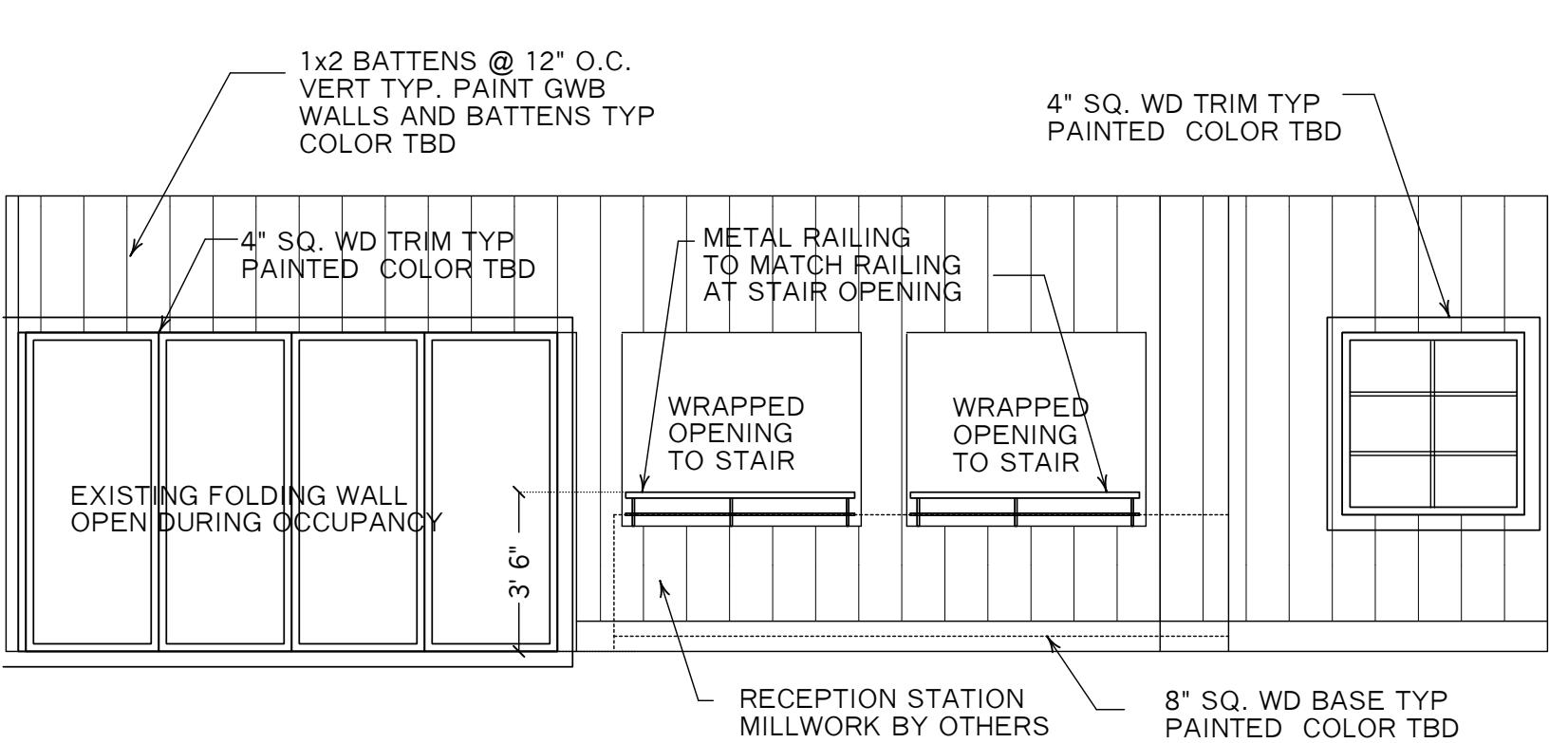
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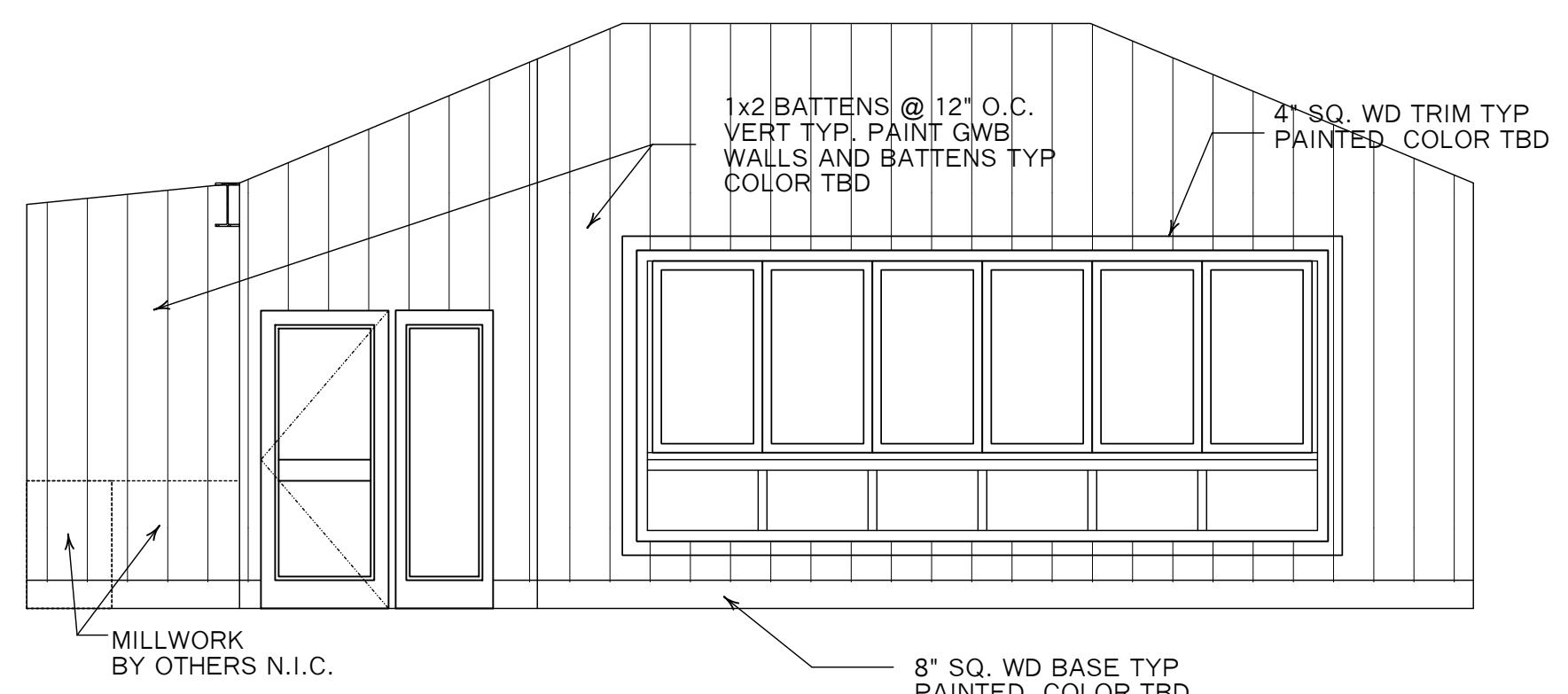
Elevation #1

Scale : 1/4" = 1'-0"



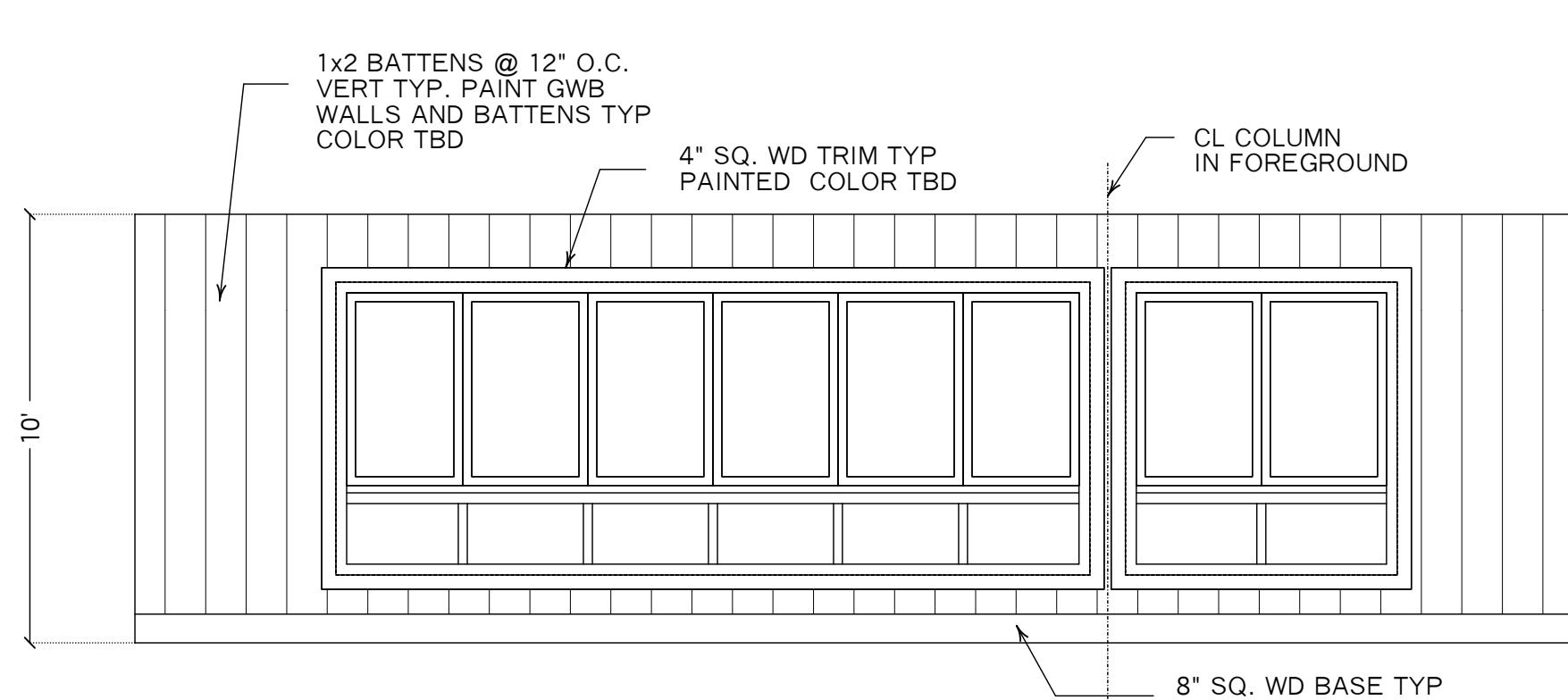
Elevation #2

Scale : 1/4" = 1'-0"



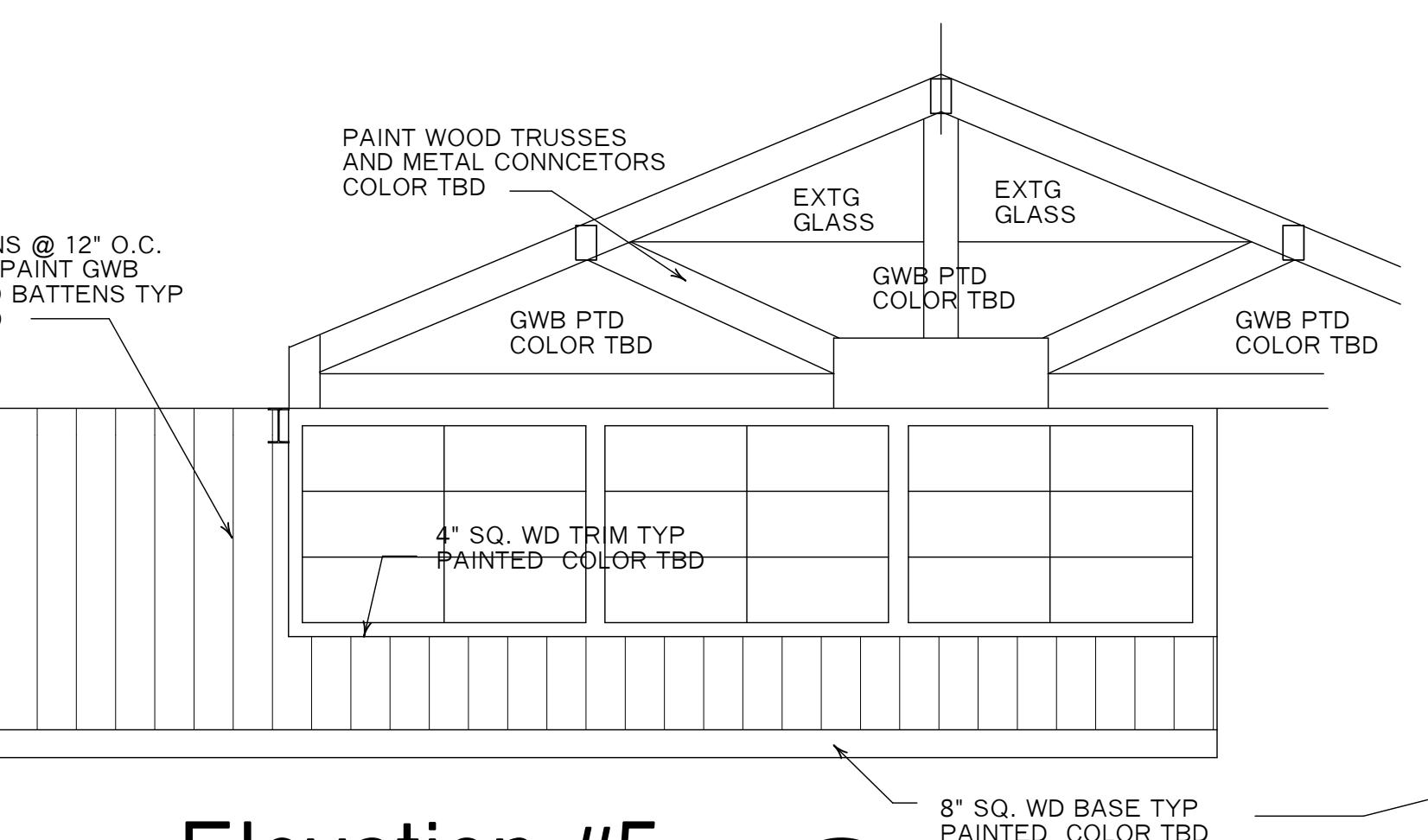
Elevation #3

Scale : 1/4" = 1'-0"



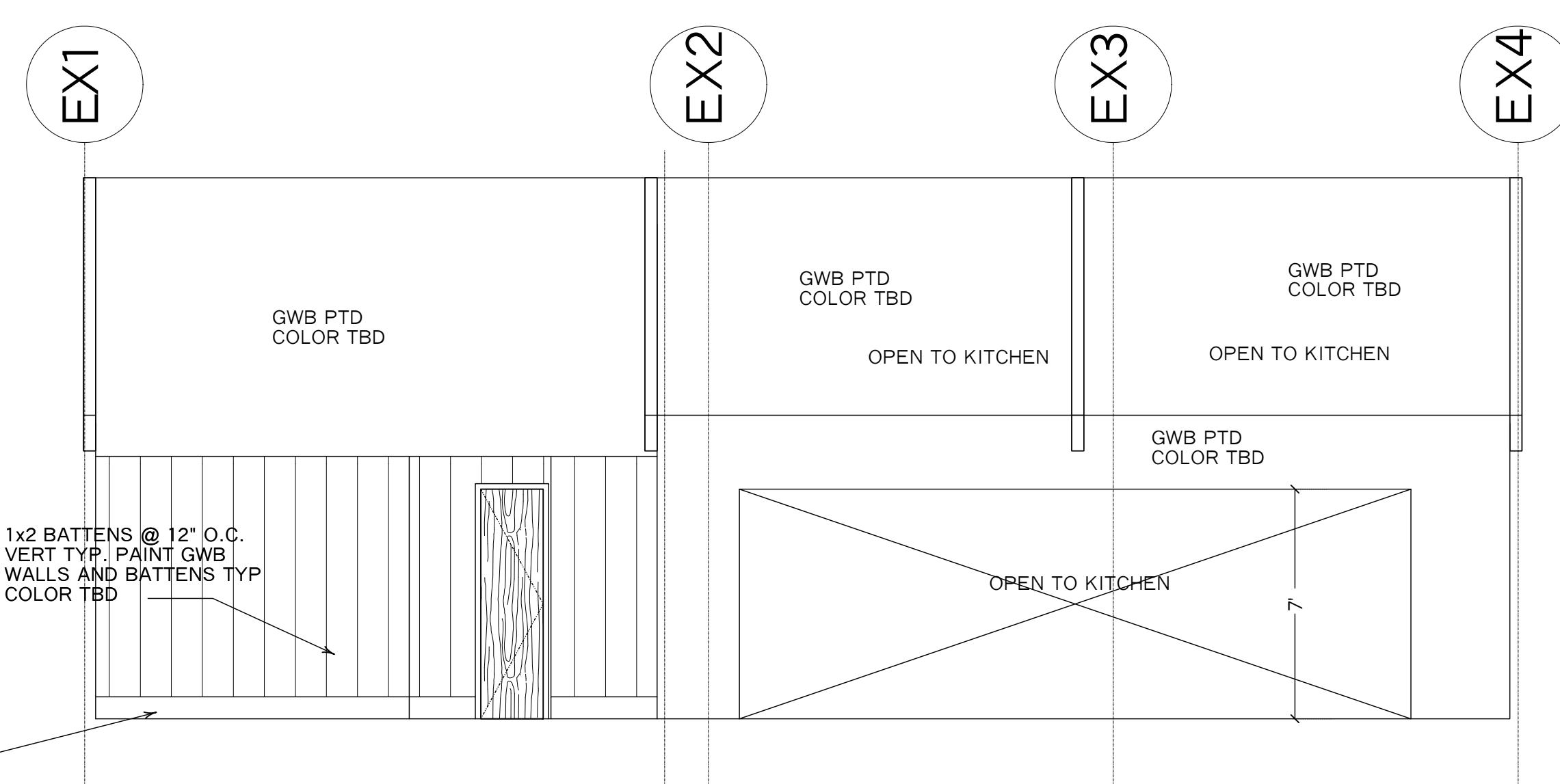
Elevation #4

Scale : 1/4" = 1'-0"



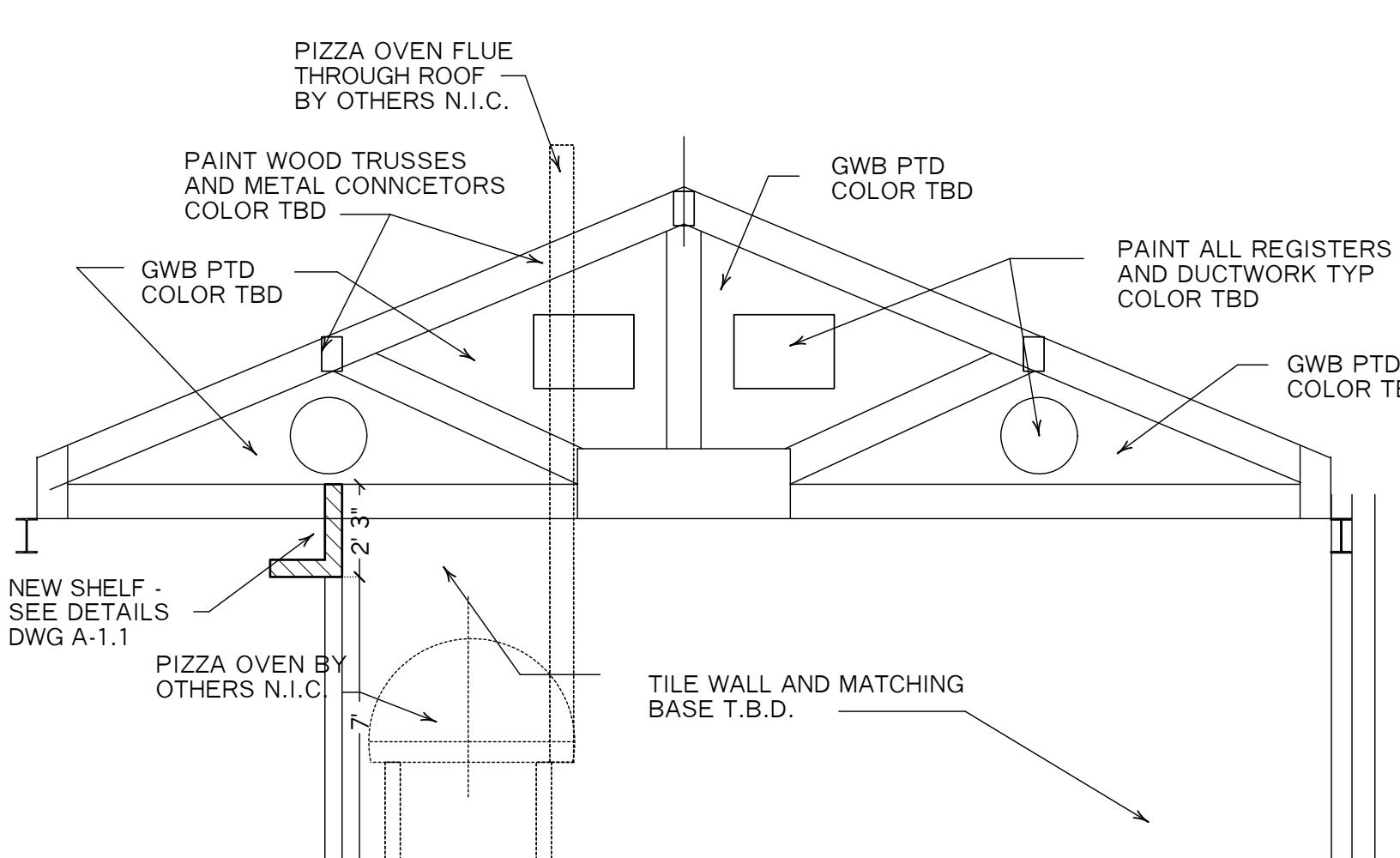
Elevation #5

Scale : 1/4" = 1'-0"



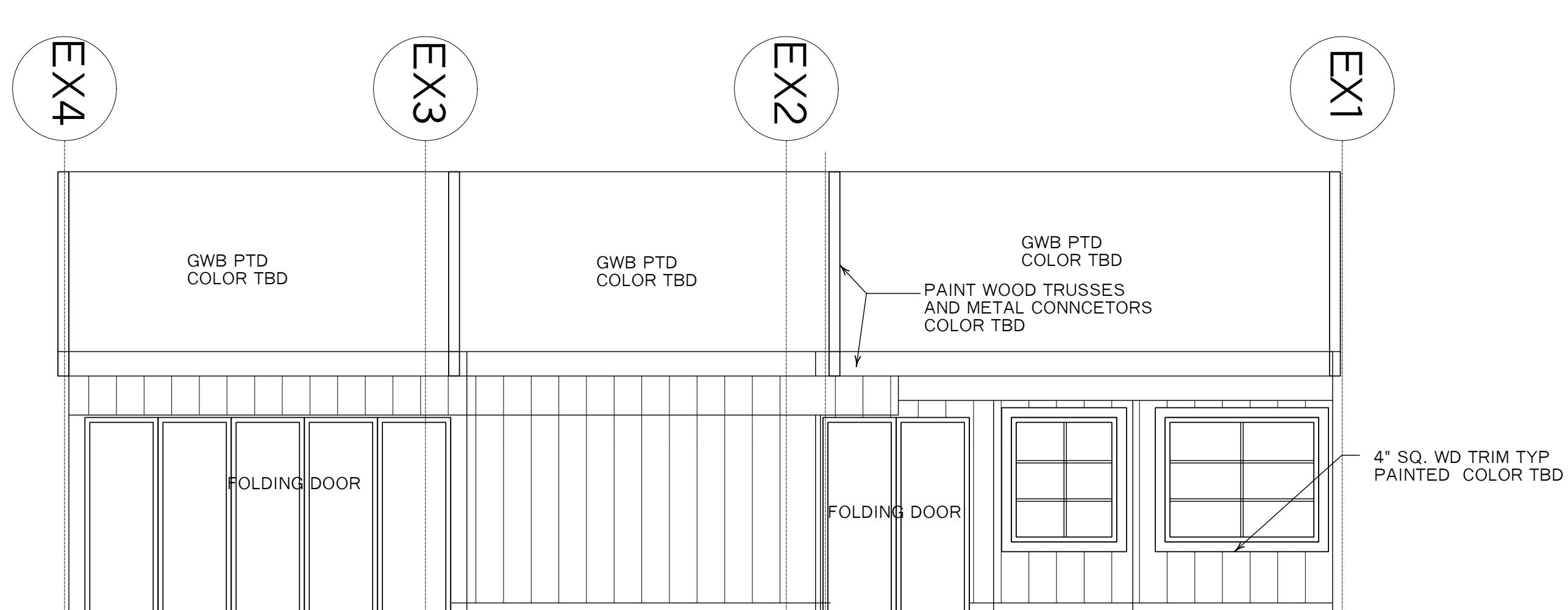
Elevation #6

Scale : 1/4" = 1'-0"



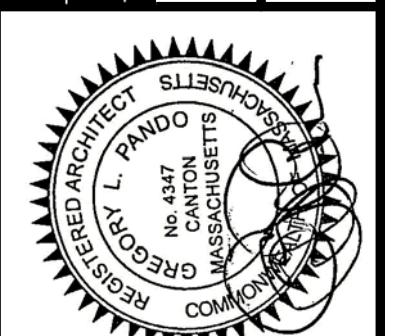
Elevation #7

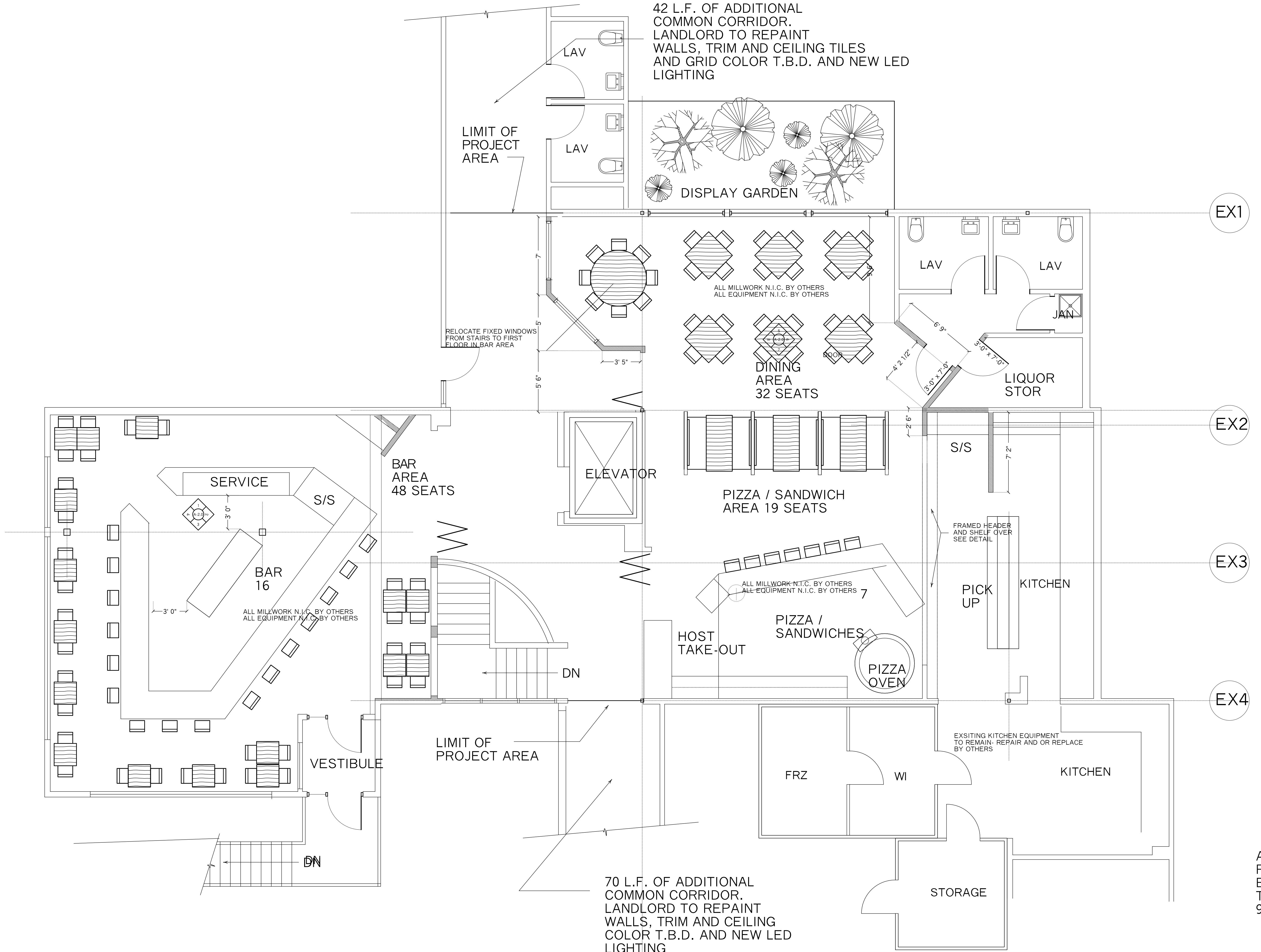
Scale : 1/4" = 1'-0"



Elevation #8

Scale : 1/4" = 1'-0"





Revisions :
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Job No : 24111
Dwg. No : EQ-1.0

Furniture & Equipment Plan
East Milton Square

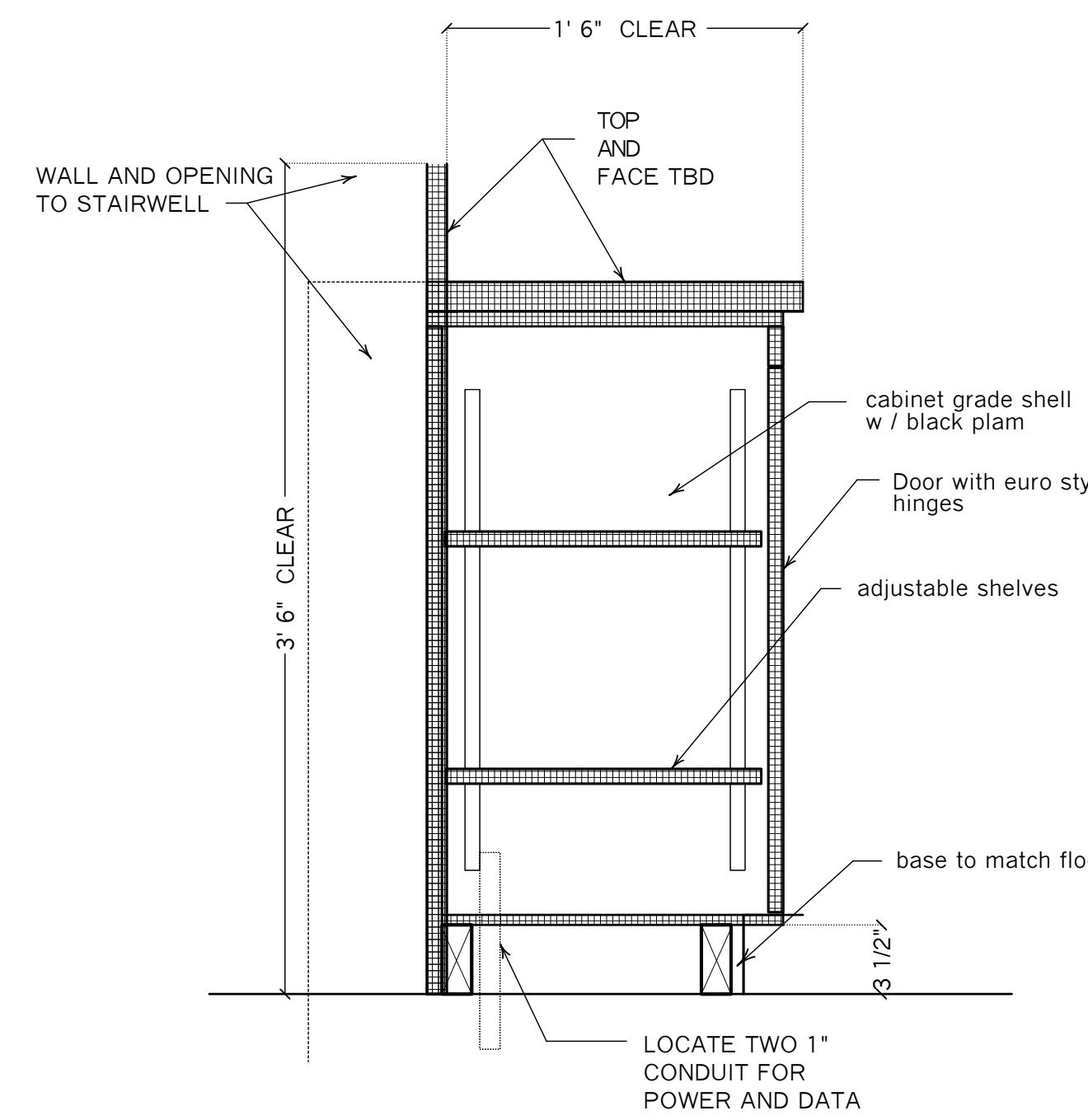
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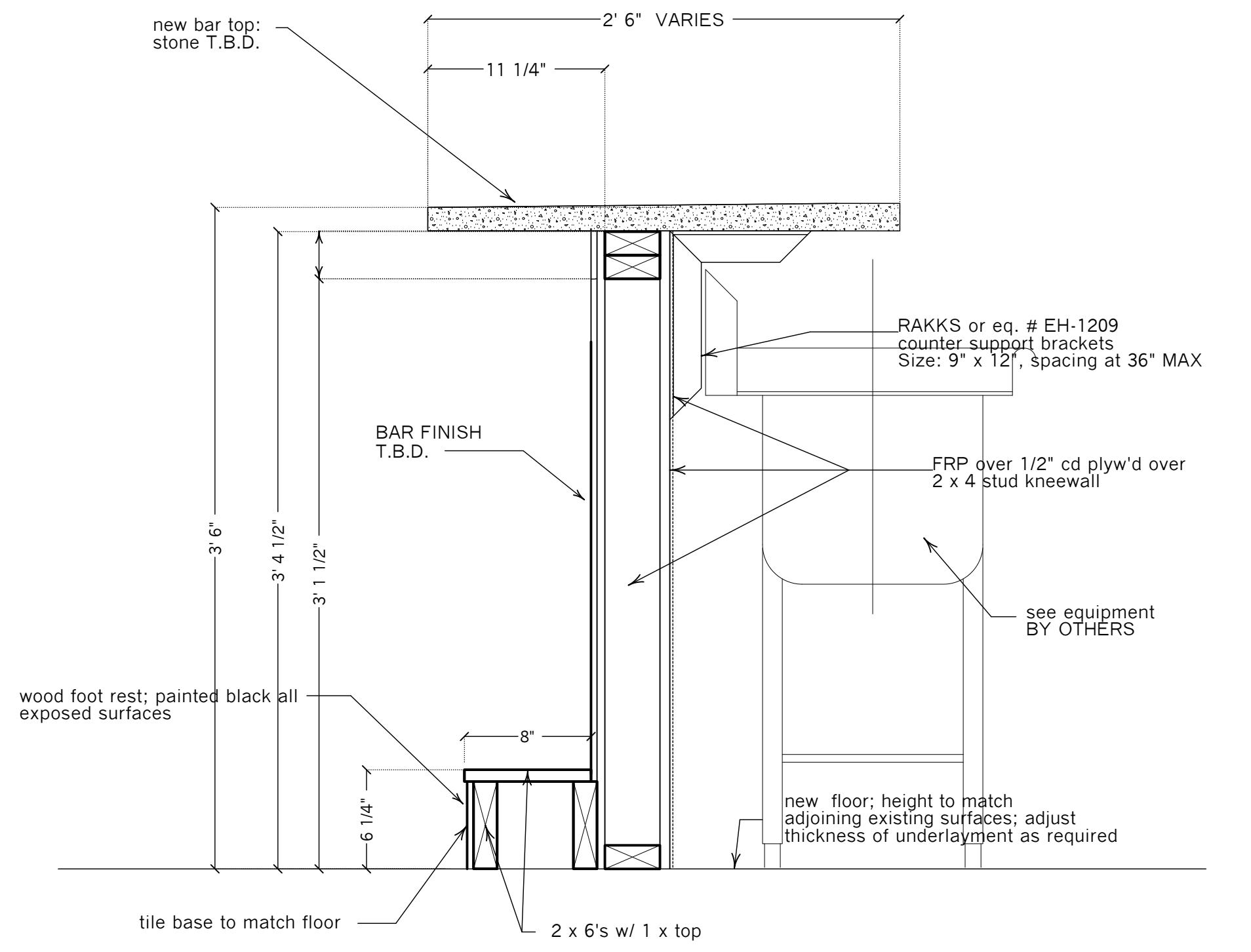
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AREA:
RESTAURANT 2,380 S.F.
BAR 1,105 S.F.
TOTAL AREA 3,485 S.F.
99 SEATS



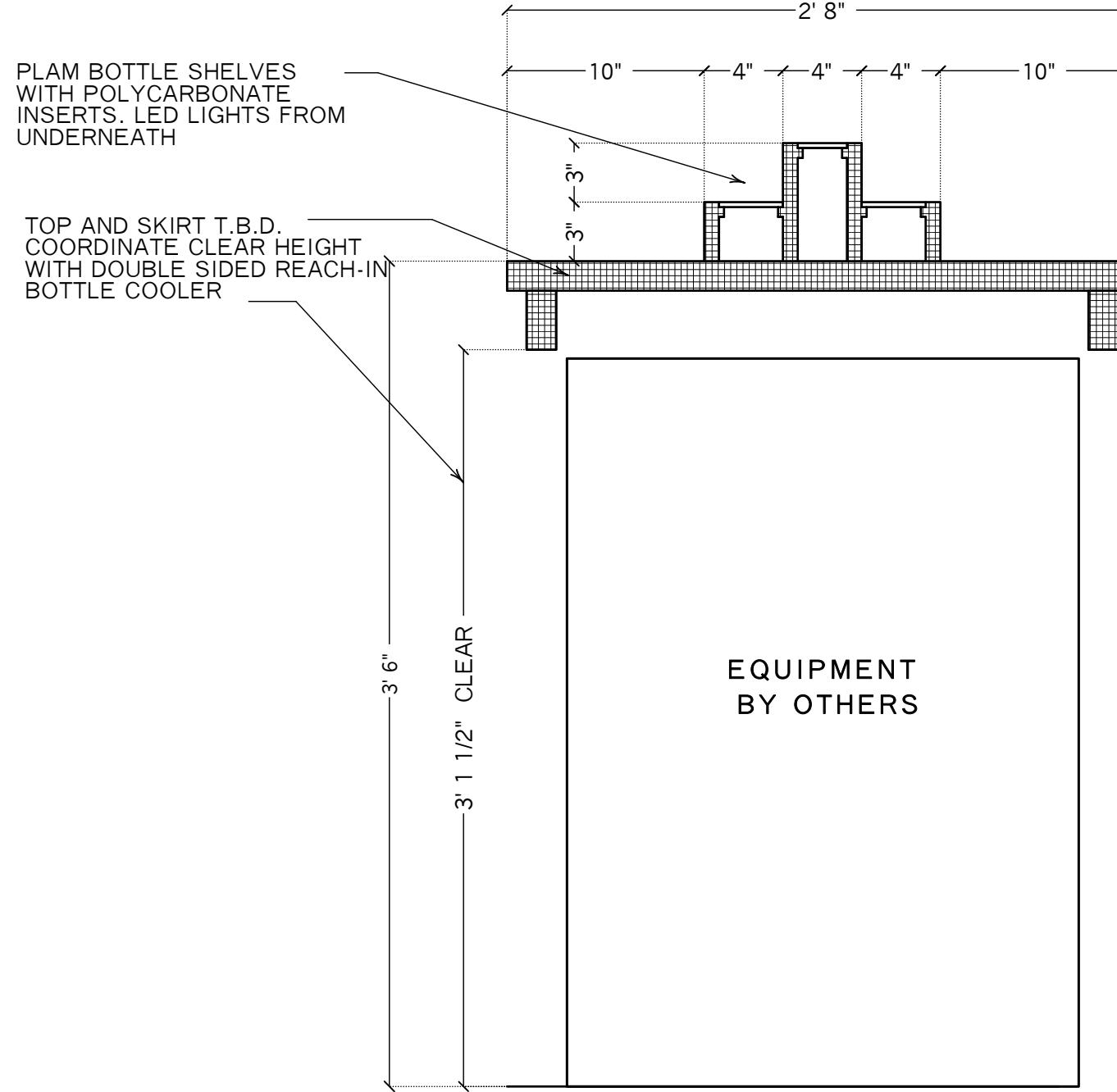
Section Host

Scale : 1-1/2" = 1'-0"



Section Bar

Scale : 1-1/2" = 1'-0"



Section Backbar

Scale : 1-1/2" = 1'-0"

THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY - ALL MILLWORK IS BY OTHERS AND N.I.C.

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<p>pando associates architects, inc.</p>	<p>Millwork Details Plan East Milton Square</p>	<p>Revisions : Checked By : GLP Drawn By : MM Scale : AS NOTED Date : 1 JUL 24 Job No. 24111 Dwg. No. EQ-1.1</p>