

2 ELIOT ST

MILTON, MA

the
ELEVATED
companies
X
STEEL & RYE



CURRENT INTERSECTION VIEW

2 ELIOT ST



PROPOSED INTERSECTION VIEW (OPTION #1)

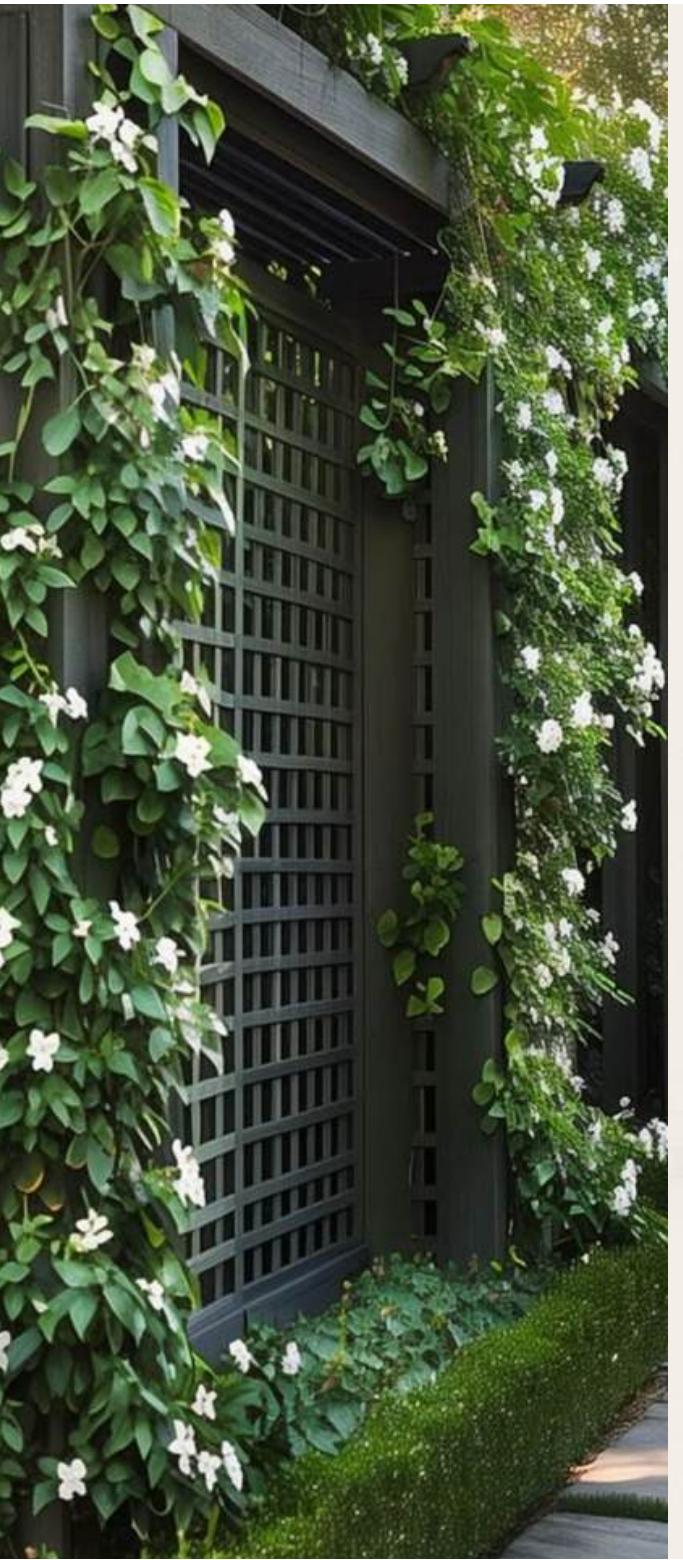
2 ELIOT ST



PROPOSED INTERSECTION VIEW (OPTION #2)

2 ELIOT ST





PLANTING GUIDE



Boxwood



Astilbe



Hosta



English Ivy



Silver Falls
Dichondra



PROPOSED EXTERIOR VIEW



**4x GAS LAMPS AT ENTRANCES
MOUNTED AT CONSISTENT
HEIGHT OF 74" AFF**

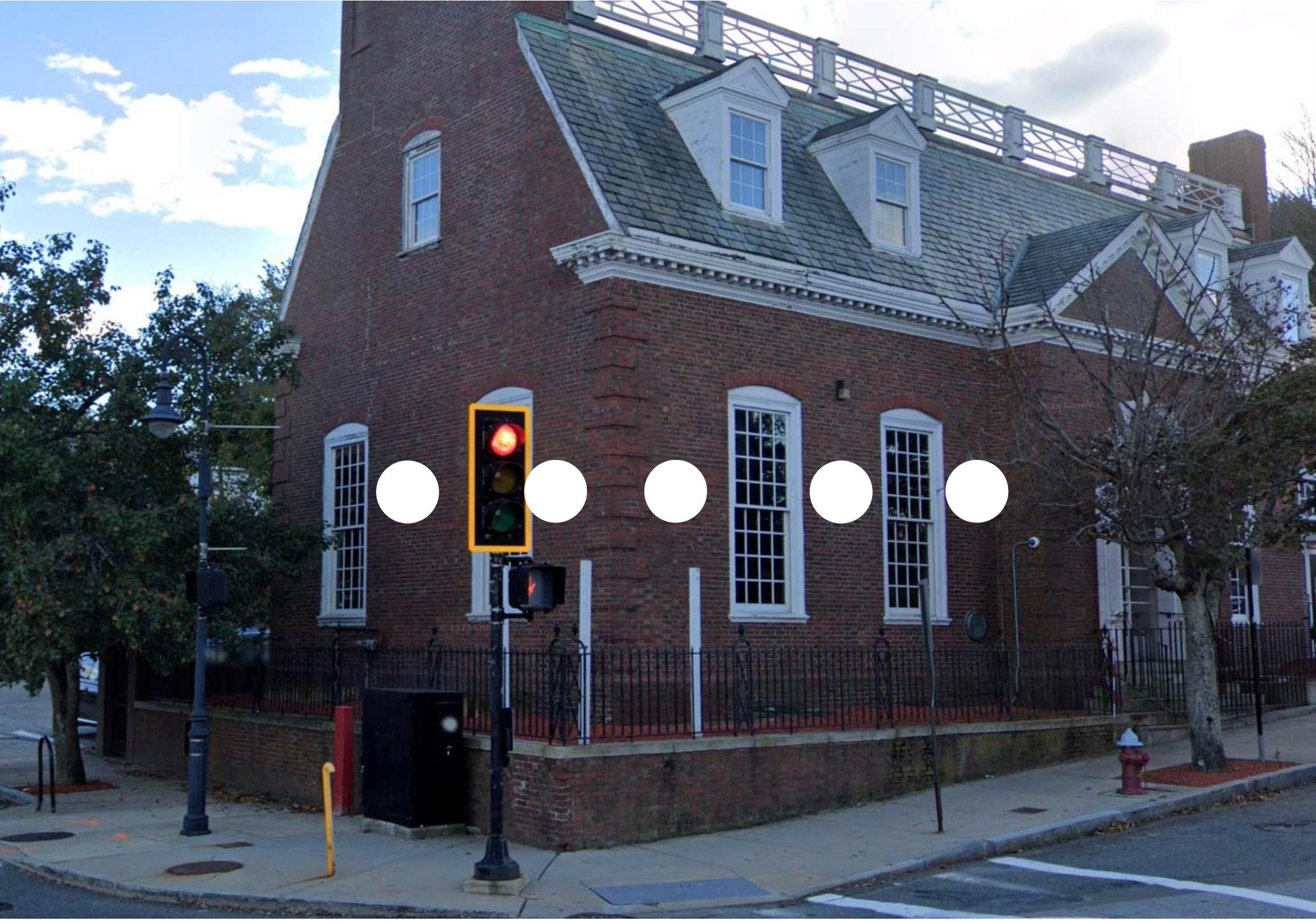
PROPOSED INTERSECTION VIEW (OPTION #1)

2 ELIOT ST



CURRENT INTERSECTION VIEW

2 ELIOT ST



ROOF PLAN & MECHANICAL SCREENING

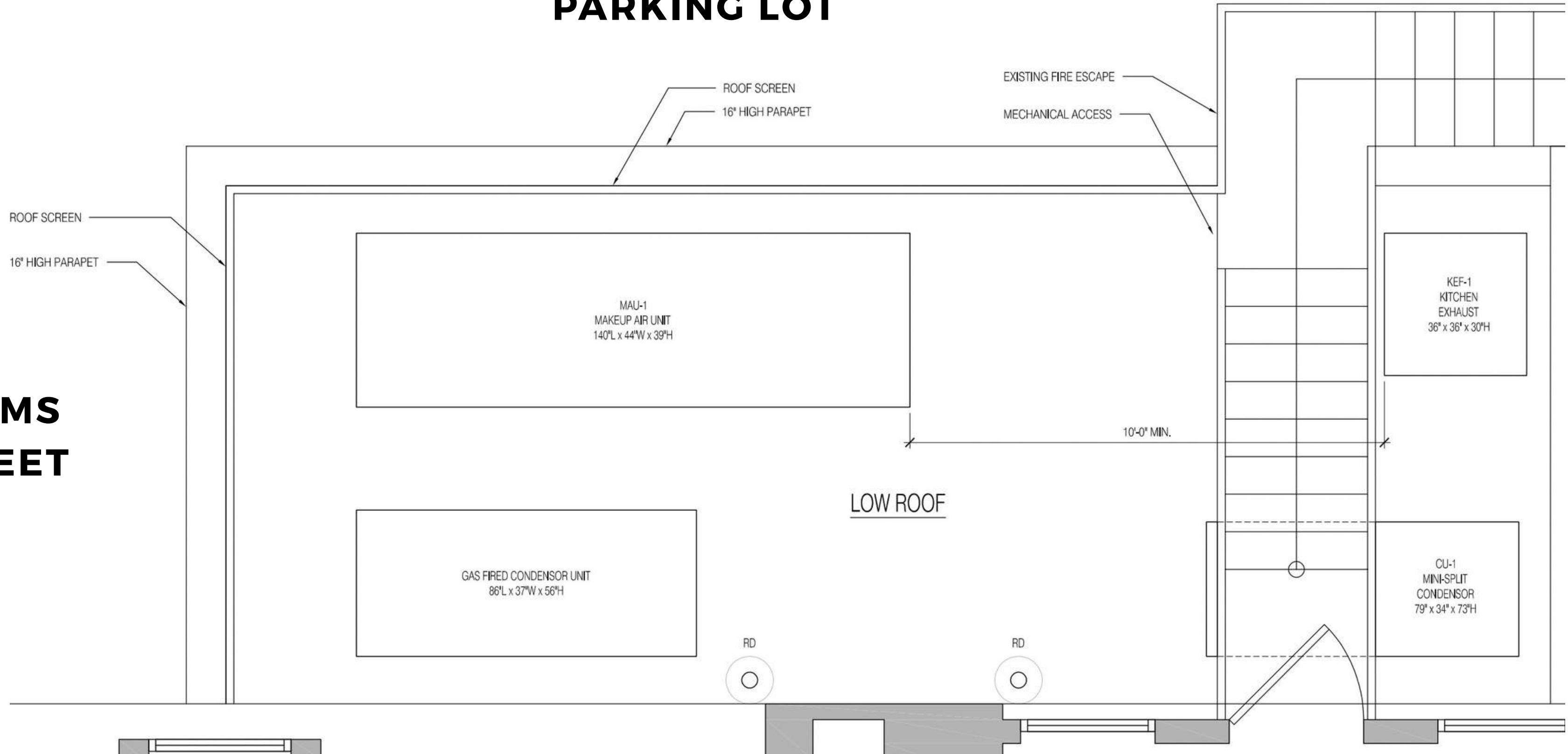
2 ELIOT ST



EXISTING CONDITIONS

STEEL & RYE x ELEVATED

PARKING LOT

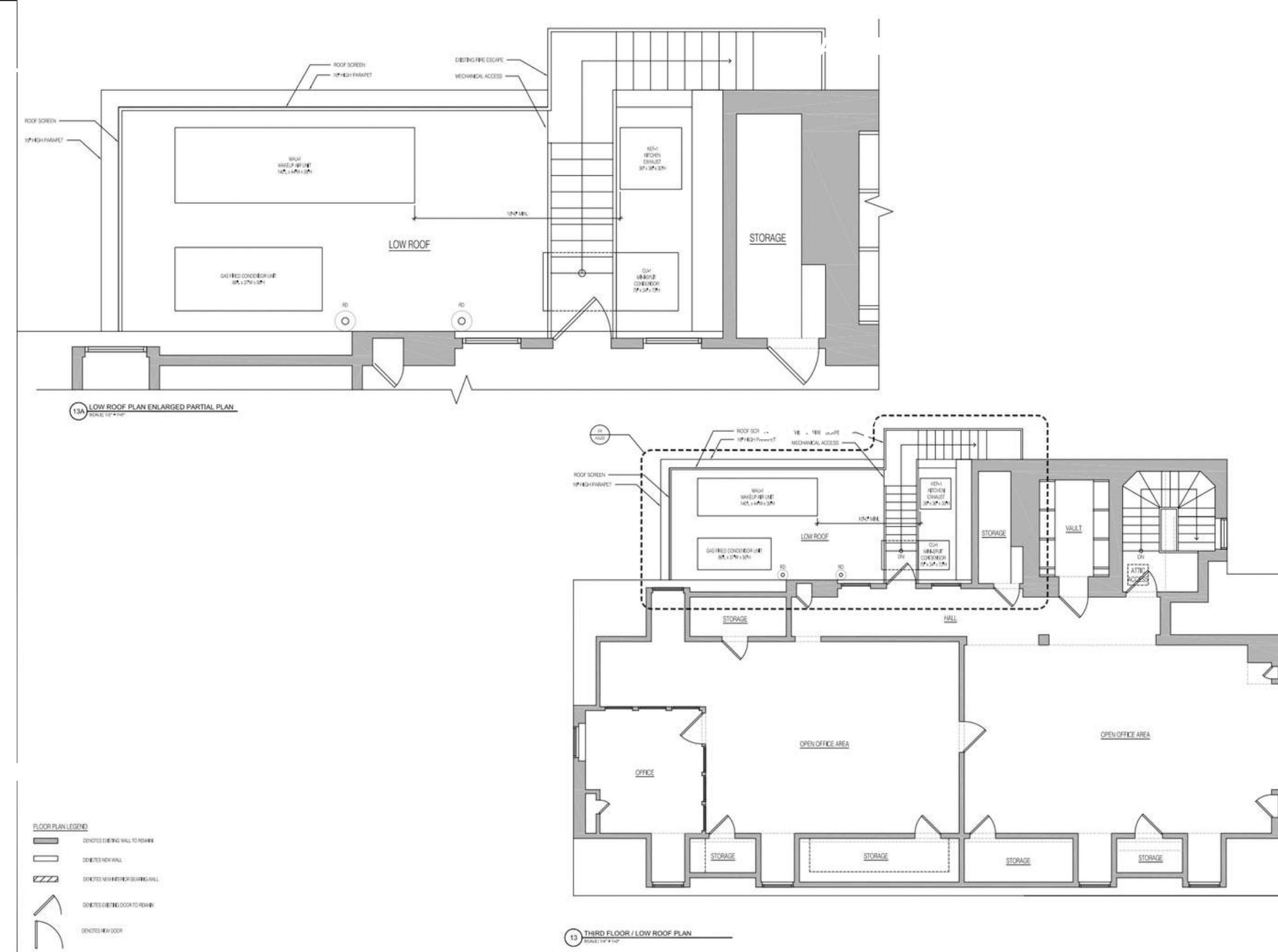


PROPOSED ROOF PLAN

STEEL & RYE X ELEVATED

ROOF PLAN & MECHANICAL SCREENING

2 ELIOT ST



PROPOSED ROOF PLAN

X ELEVATED

ROOF PLAN & MECHANICAL SCREENING

2 ELIOT ST



EXISTING CONDITIONS

STEEL & RYE x ELEVATED

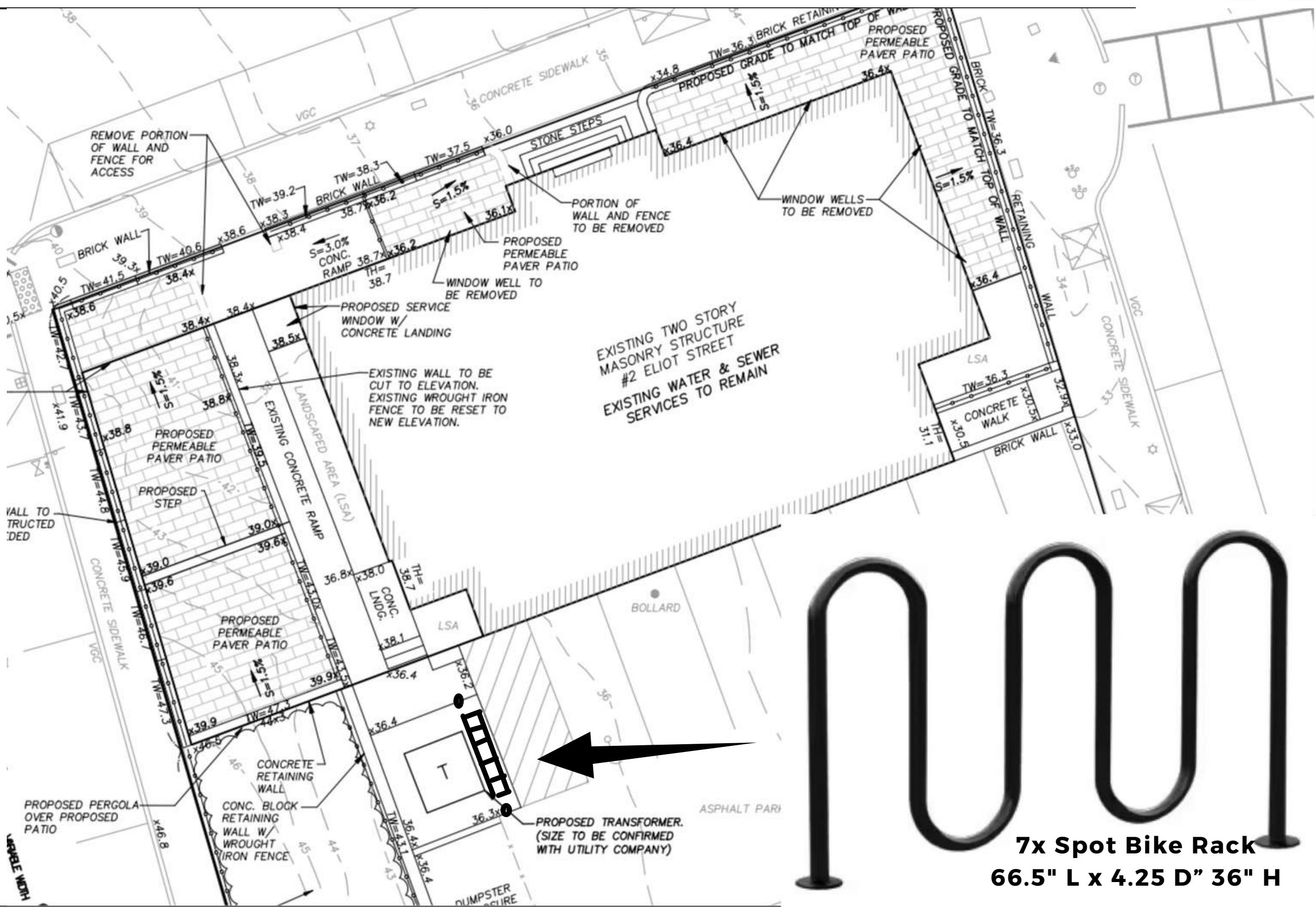


PROPOSED SCREENING

STEEL & RYE x ELEVATED

BIKE RACK LOCATION

2 ELIOT ST



PROPOSED BIKE RACK

STEEL & RYE

X ELEVATED

2 ELIOT ST

THE LOCATION



Milton Village stands as a charming, walkable enclave nestled along the Neponset River, blending small-town warmth with urban convenience. With direct access to Boston via the MBTA trolley, public highways, and the bike path, Milton Village offers a unique blend of tranquility and connectivity.

A notable landmark, the building at 2 Eliot Street, contributes to the village's character and vitality, anchoring its role as both a historic and evolving hub. Our vision mixes this heritage with forward-thinking development to make Milton Village a standout destination for residents and visitors alike.



2 ELIOT ST

MARKET PROPOSAL

STEEL & RYE x ELEVATED

TWO PENCE MARKET

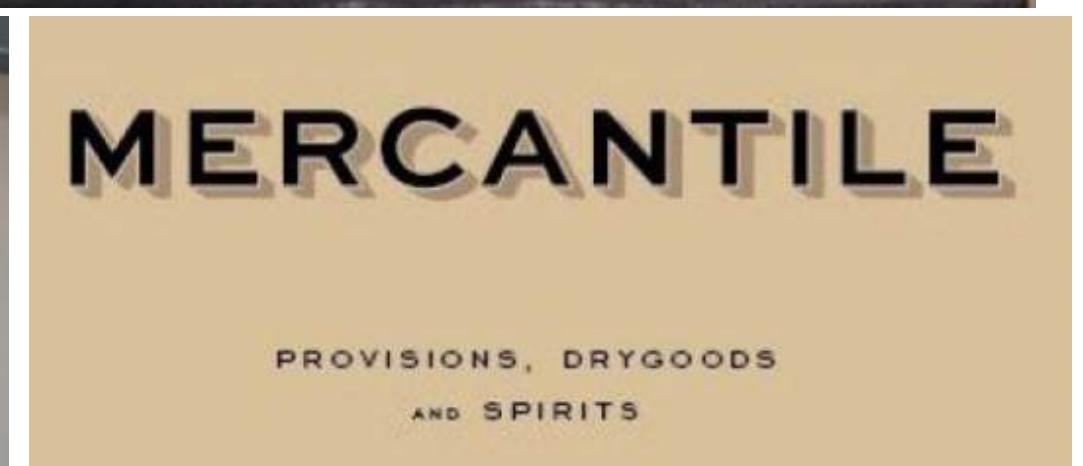
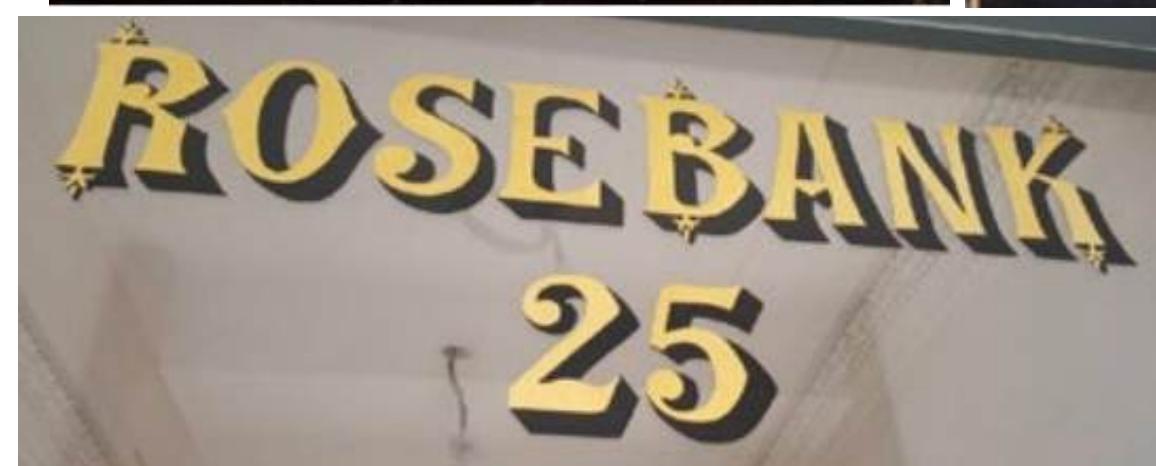
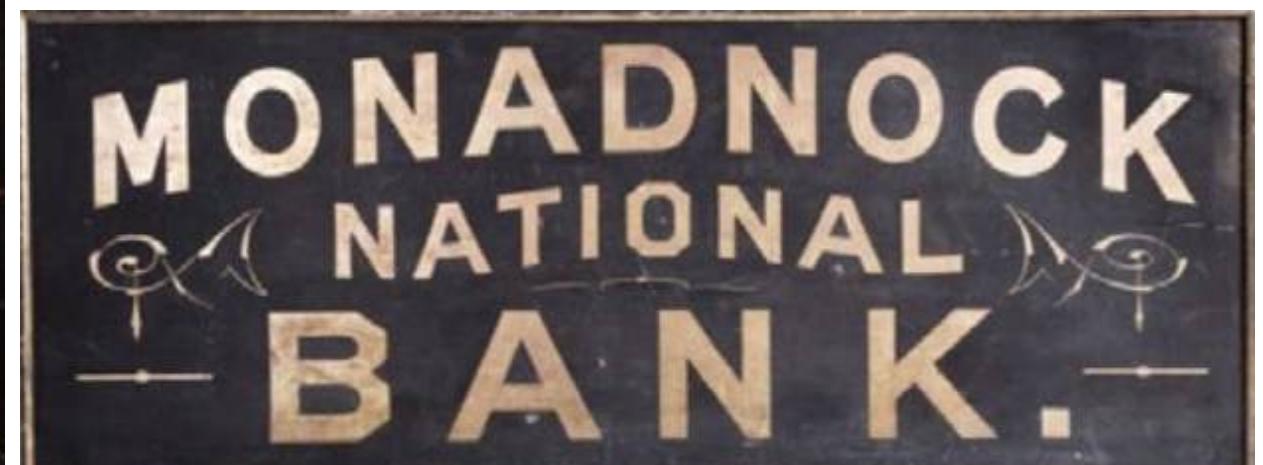
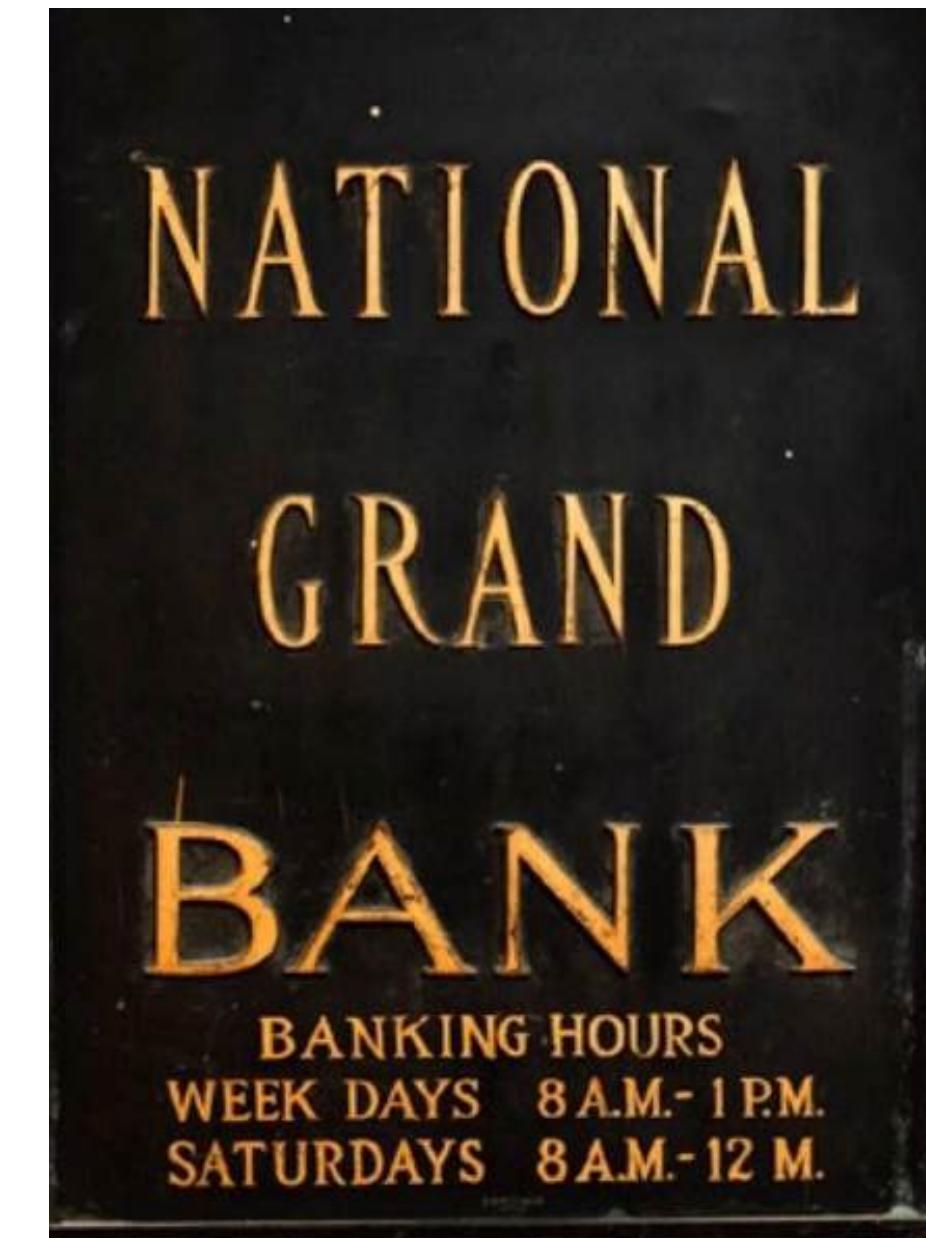
The old bank at 2 Eliot Street has been brought back to life with purpose and pride as Two Pence Market. It once again serves as a cornerstone of the Milton community – as a coffee shop, a neighborhood grocery, and a daily hangout.

Walk through our doors and you'll feel it immediately – everything here is thoughtfully made and worth coming back for.

Your first visit feels like a discovery. Your second, like a welcome return. And every visit after that, like home.

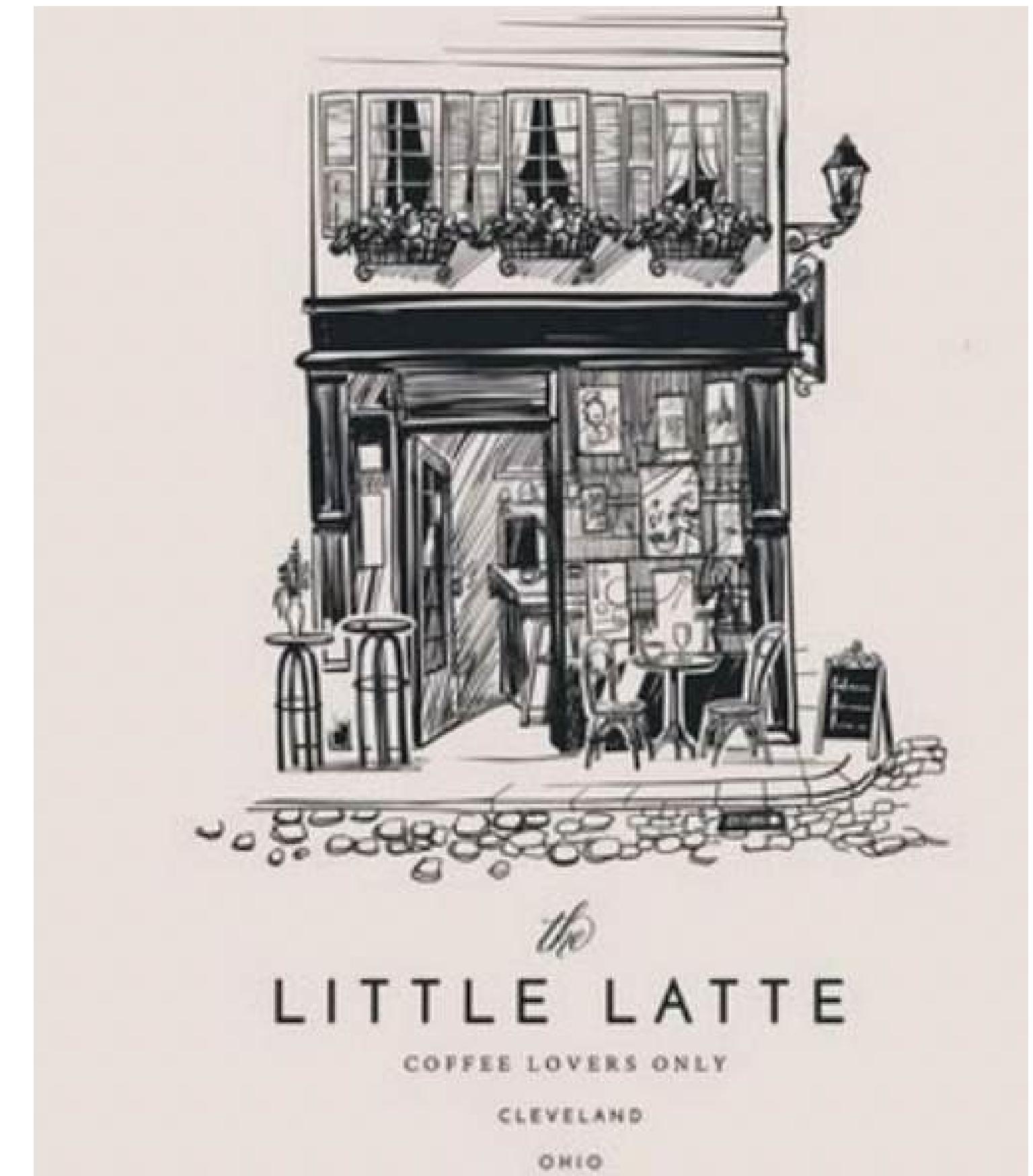
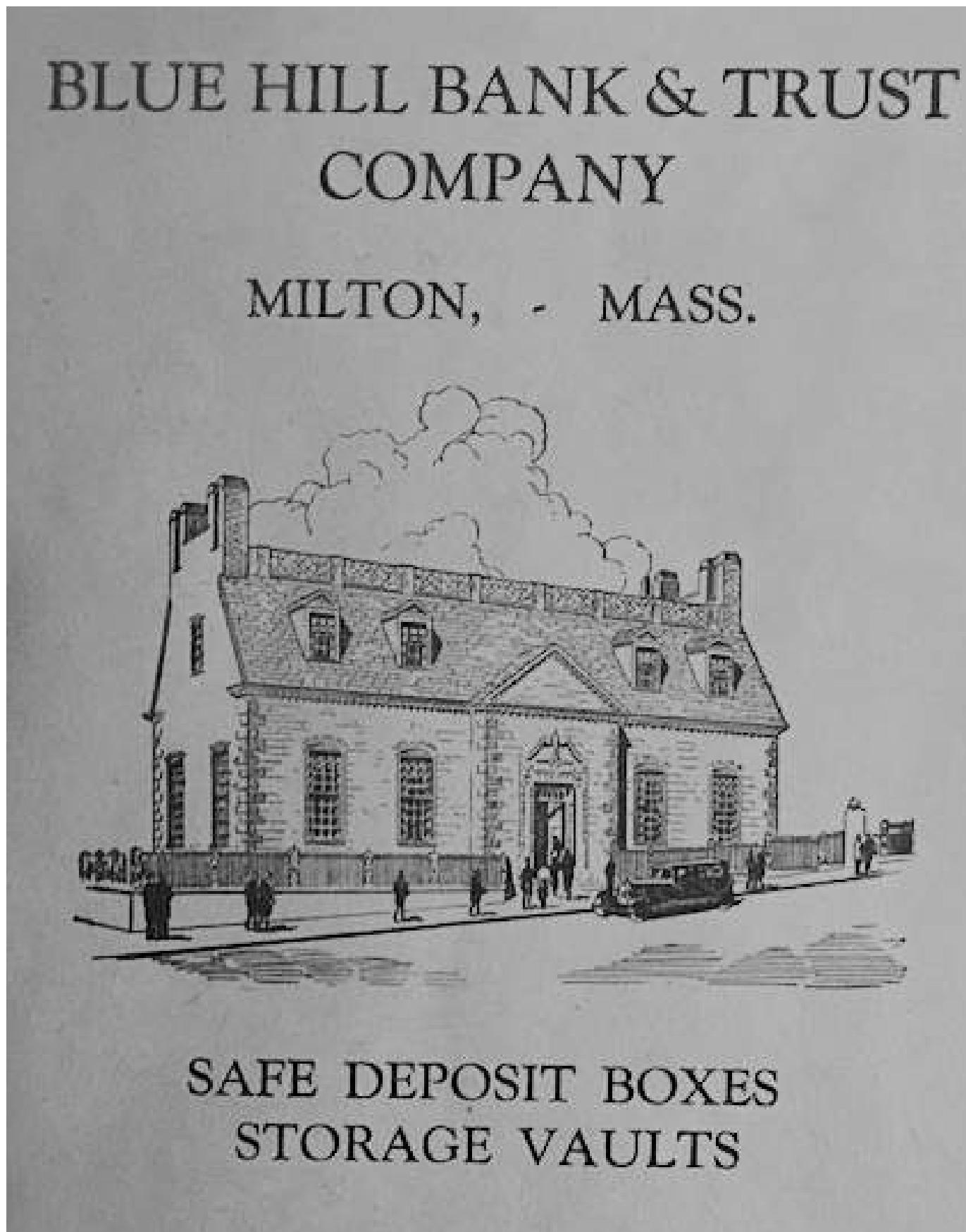
At Two Pence Market, you're not a customer – you're a neighbor. We're not here to sell you more, we're here to serve you better.

MEETING THE MOMENT



HISTORIC INSPIRATION IN BRANDING

2 ELIOT ST



PRODUCTS

2 ELIOT ST



LOCAL PANTRY



FRESH JUICE



FARM TO TABLE



SALADS
SOUPS
SANDWICHES



CURATED BOOK SELECTION



BAKERY



ORGANIC PRODUCE



FLOWER DISPLAY



TO GO BEVERAGES

2 ELIOT ST

FLOOR PLAN

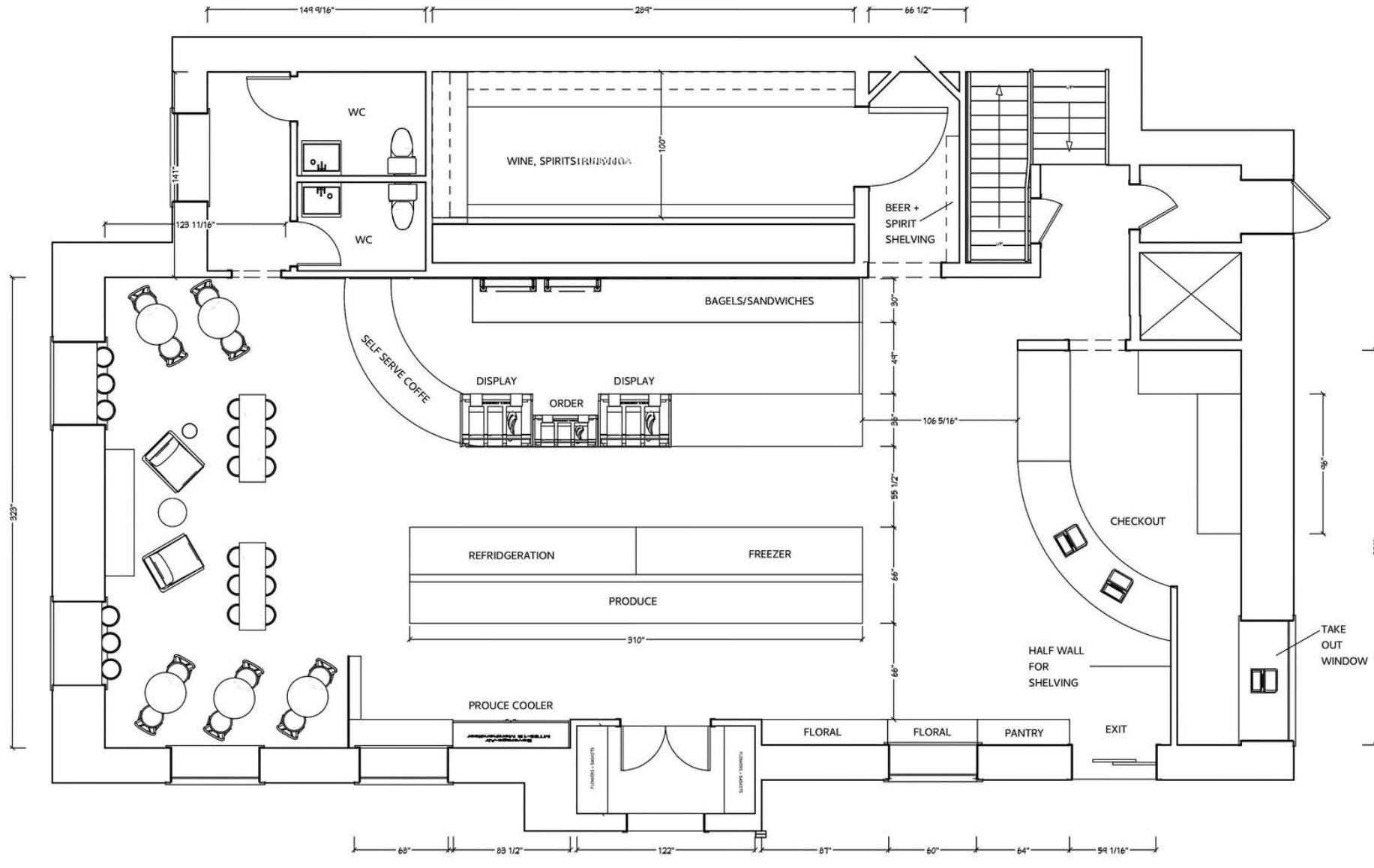
FIRST
FLOOR



**TOTAL SQUARE
FOOTAGE**

2,970 sq ft

— ADAMS ST



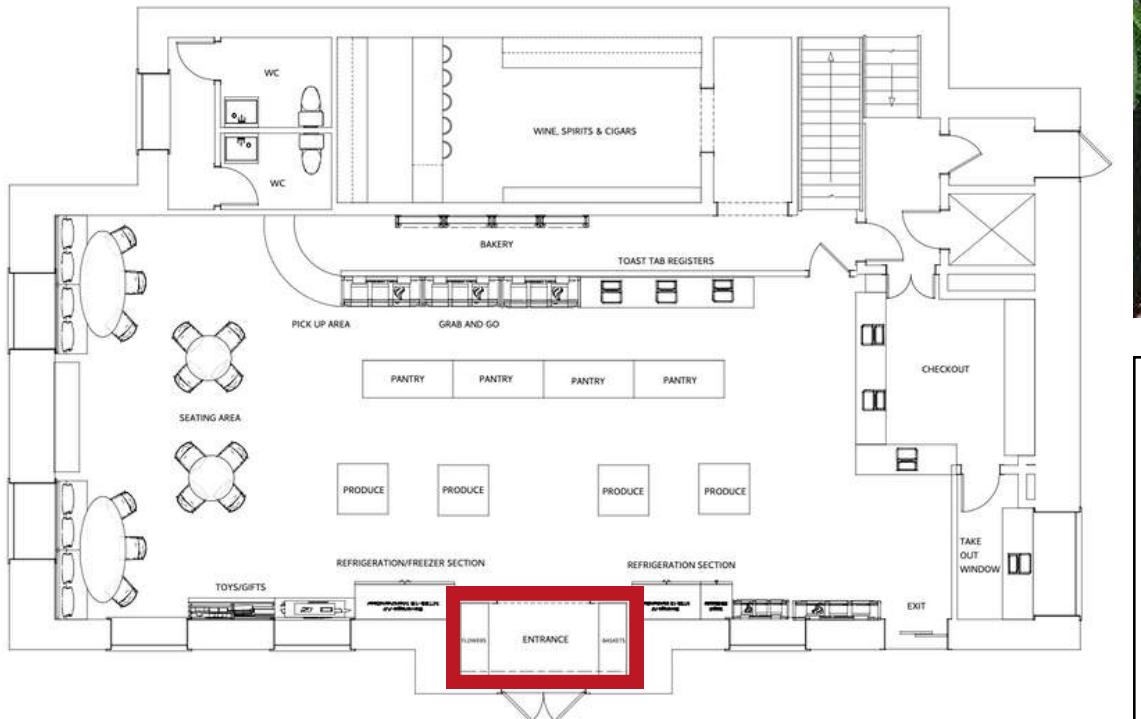
DISCLAIMER: ALL DIMENSIONS, DESIGNATIONS, & EXTENTS ARE SUBJECT TO SITE VERIFICATION PRIOR TO CONTRACTOR COMMENCEMENT OF WORK	PROJECT: 2 ELIOT STREET MILTON, MA 02186	SHEET TITLE: 2 ELIOT 1ST FLOOR	JOB ID: 2 Eliot	REV: 00	DWG NO:
			DWN BY: ELEVATED CONSTRUCTION	CHK BY: xxx	
			DATE: January 28, 2025		
			SCALE: NTS		KD07

STEEL & RYE x **ELEVATED**

ELIOT ST

ENTRY FLORAL DISPLAYS

2 ELIOT ST



**TIERED FLOWER DISPLAY - OPPORTUNITY FOR A
CUSTOM BUILT IN DISPLAY OR METAL BUCKET TIER.
WOVEN BASKET STACK ON OPPOSITE SIDE FOR
SHOPPING**

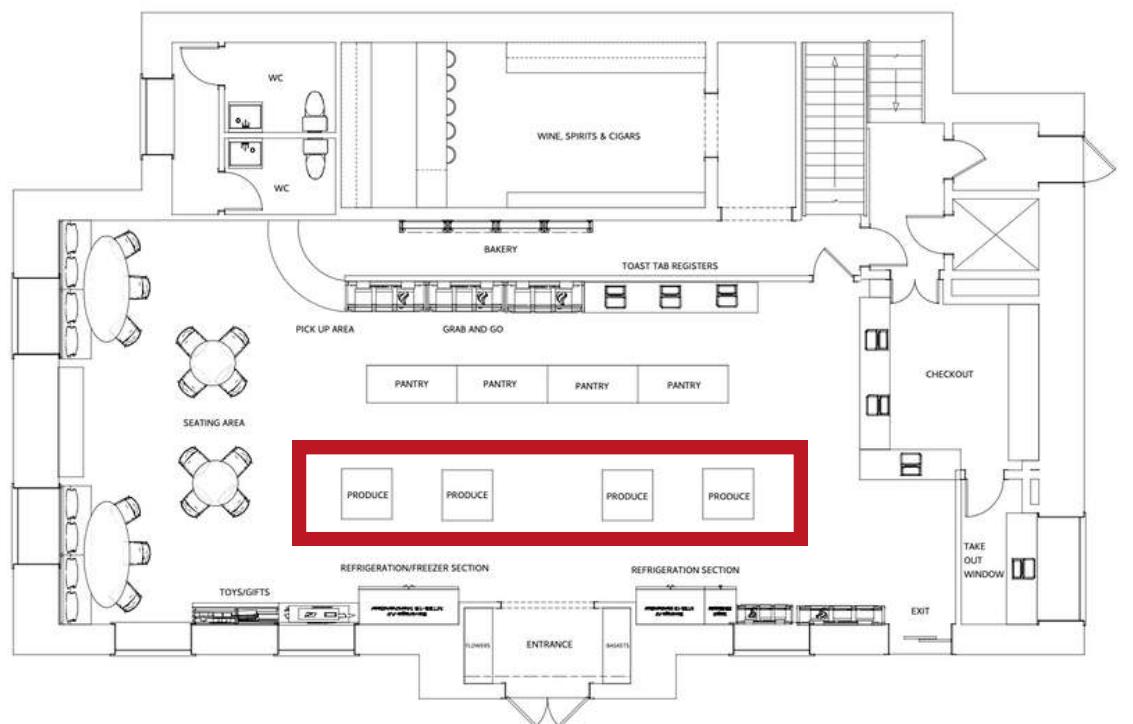


PRODUCE STANDS

2 ELIOT ST

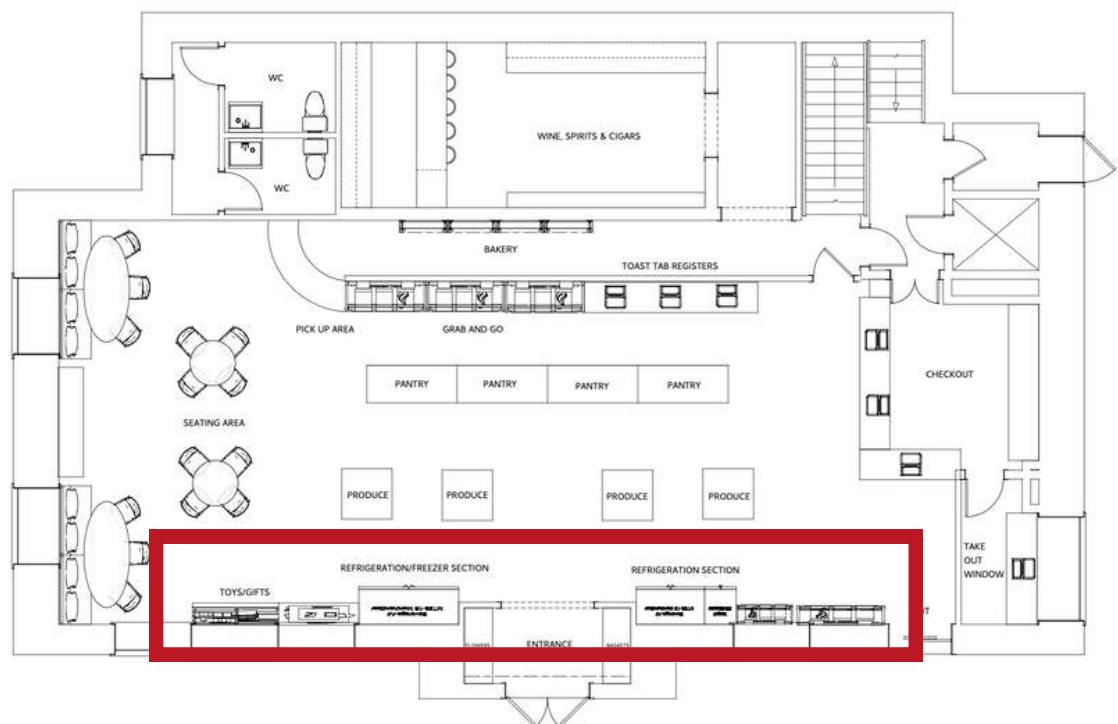


CENTRAL, TIERED PRODUCE STANDS - REPURPOSE EXISTING STANDS IN BASEMENT



REFRIGERATOR SECTION

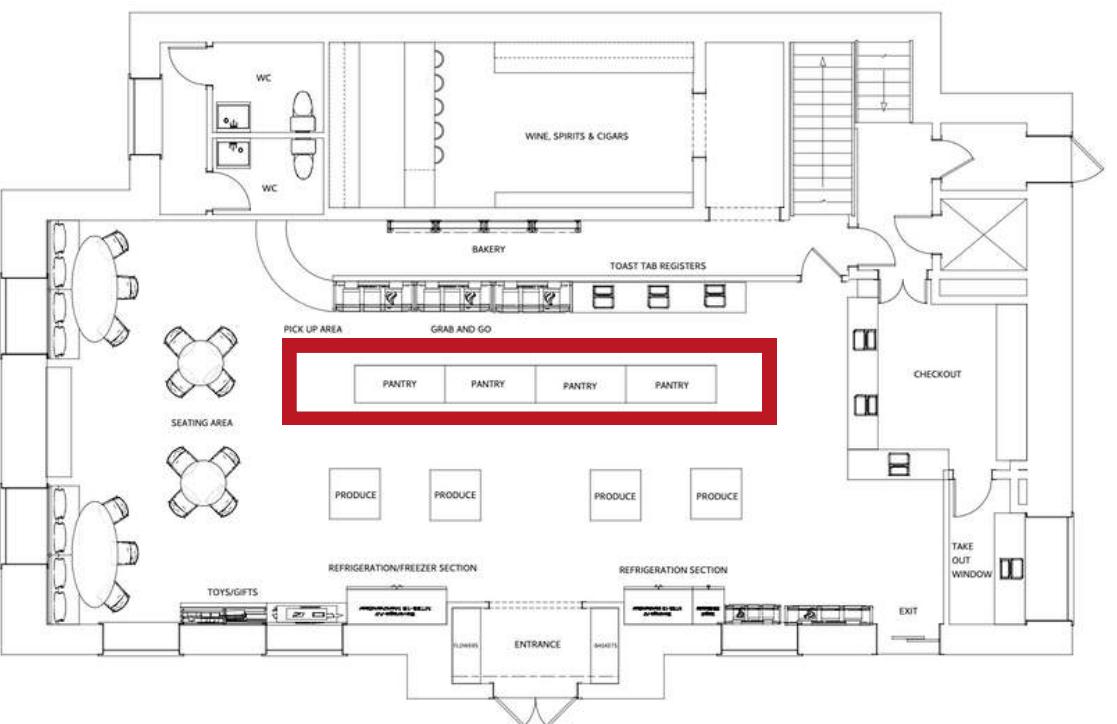
2 ELIOT ST



REFRIGERATION INSPIRATION

PANTRY SECTION

2 ELIOT ST

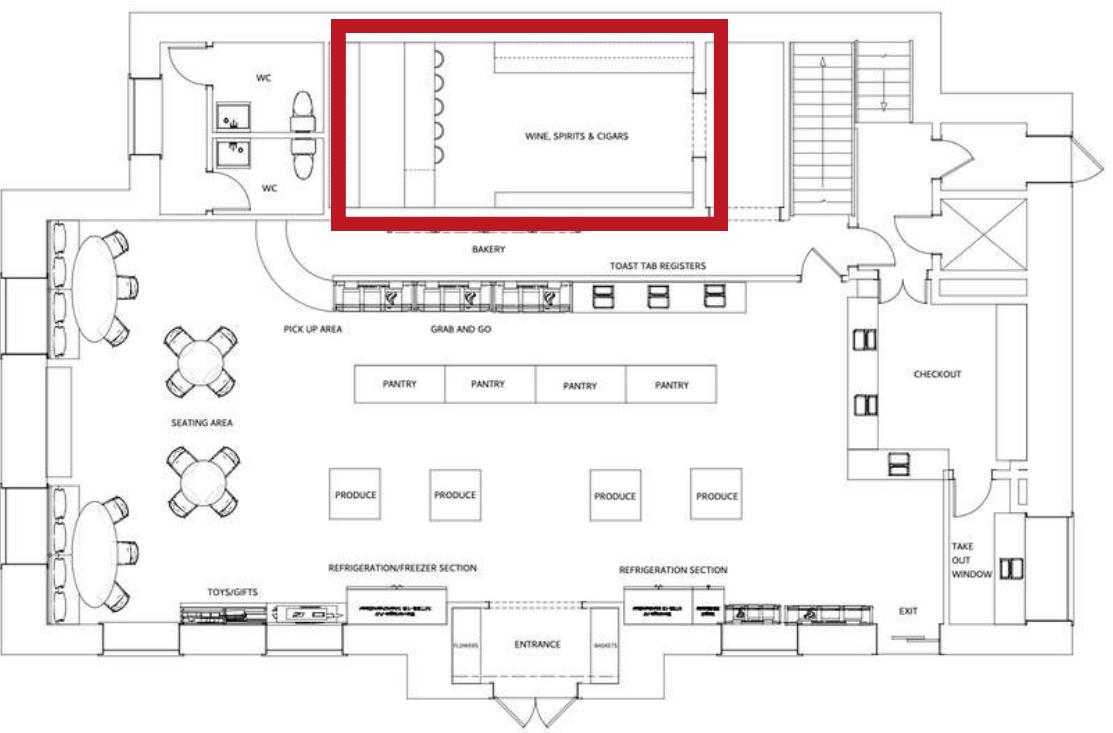


TIERED, LINEAR DIVIDERS WITH PANTRY ITEMS



THE VAULT'S CURATED COLLECTION

2 ELIOT ST



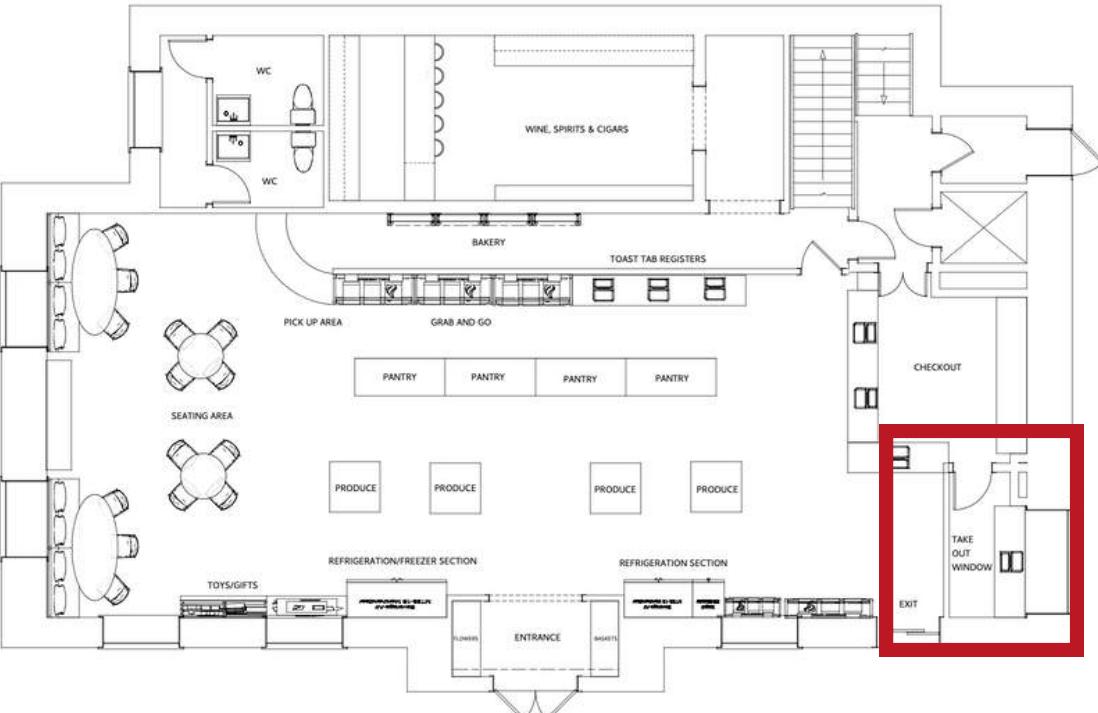
VAULT TO SERVE AS A SECTION FOR CURATED GIFTS
INCLUDING WINE AND SPIRITS.



OUTDOOR ORDERING WINDOW

2 ELIOT ST

SLIDING WINDOW TO SERVICE
OUTDOOR SEATING AND DELIVERY
SERVICES.

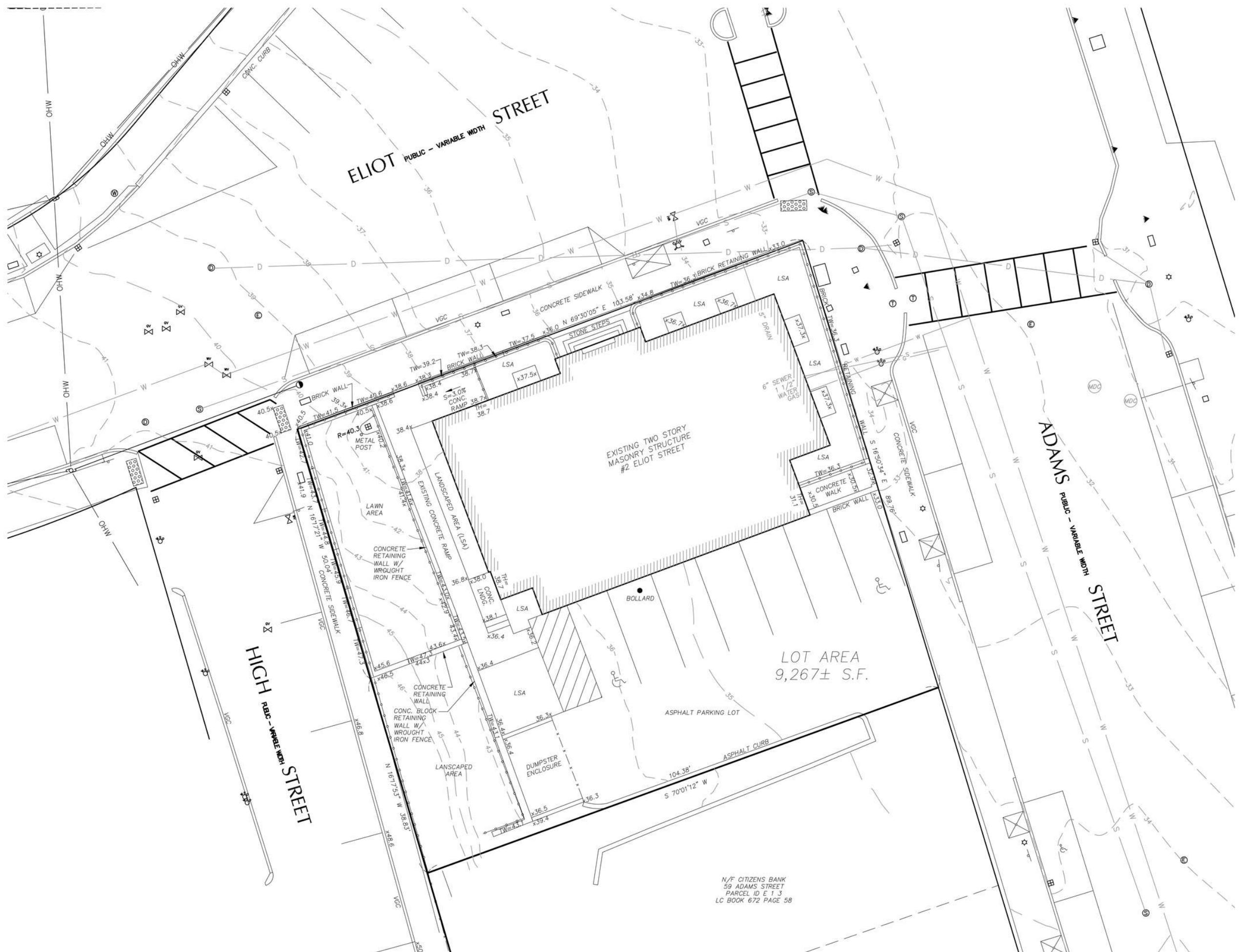


2 ELIOT ST

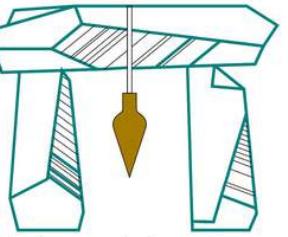
EXTERIOR DESIGN PROPOSAL

STEEL & RYE x ELEVATED

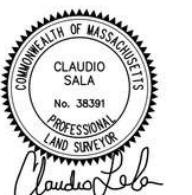
SITE CONTEXT - EXISTING CONDITIONS



DeCelle-Burke-Sala



& Associates, Inc.
1266 Furnace Brook Parkway #401
Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



Claudio Sala, PLS

GENERAL NOTES:

1. LOCUS:

ASSESSORS ID: E 1 1
RECORD OWNER: 2 ELIOT STREET, LLC
DEED REFERENCE: CERTIFICATE #209866
BOOK 41281 PAGE 557
PLAN REFERENCE: LC PLAN #256628

2. DATE OF SURVEY: SEPTEMBER, 2024

3. VERTICAL DATUM: NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON DATUM).

4. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.

DIG-SAFE SHALL BE NOTIFIED PER THE STATE OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 409 AT TEL. 1-888-344-7233. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. LOCATIONS AND ELEVATIONS OF UNDERGROUND UTILITIES WERE TAKEN FROM RECORD PLANS. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, AND INVERTS OF UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

5. PARCEL IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM 25021C0064F, EFFECTIVE 06/09/2014, AS DELINEATED ON FEMA FLOOD MAP SERVICE CENTER ONLINE PORTAL.

6. PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

PROJECT TITLE & LOCATION:

PROPOSED PATIO
AT
2 ELIOT STREET
MILTON, MASS.

PLAN TITLE:

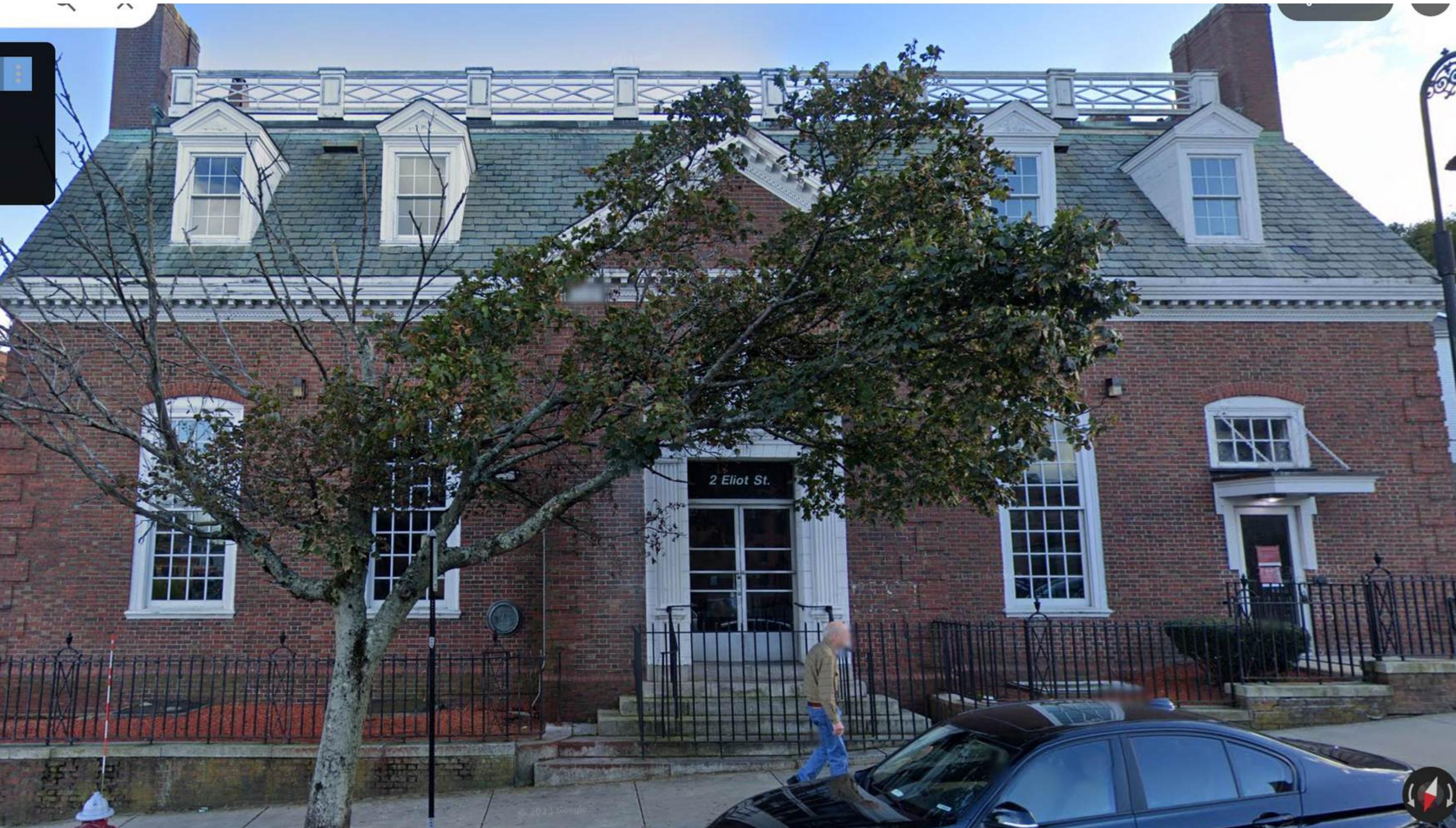
EXISTING CONDITIONS

PREPARED FOR:

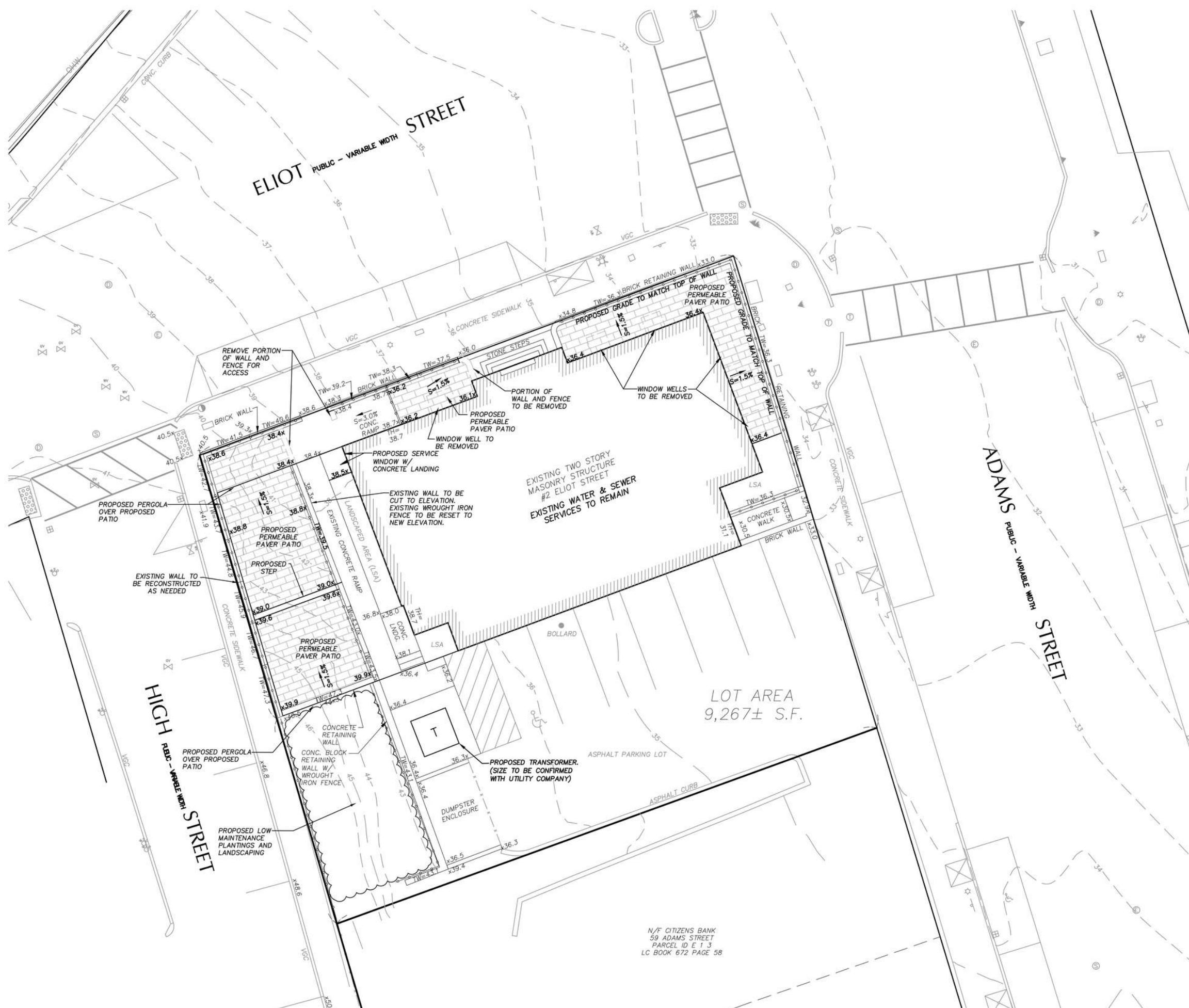
JOSHUA D WILD
2 ELIOT STREET, LLC

EXISTING EXTERIOR VIEW

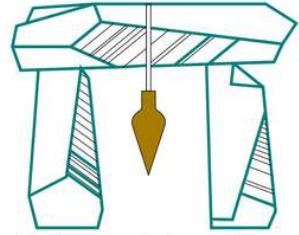
2 ELIOT ST



SITE CONTEXT - PROPOSED CONDITIONS



DeCelle-Burke-Sala



& Associates, Inc.
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Quincy, MA 02169
617-405-5100 (o) 617-405-5101 (f)
www.decelle-burke-sala.com



AMES W. BURKE, P.E.

RAL NOTES:
US:
GORS ID: E 1 1
D OWNER: 2 ELIOT STREET, LLC
REFERENCE: CERTIFICATE #209866
REFERENCE: LC PLAN #25662B
E OF SURVEY: SEPTEMBER, 2024
TICAL DATUM: NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON
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CEL IS LOCATED WITHIN FLOOD ZONE X, AS DELINEATED ON FIRM CO064F, EFFECTIVE 06/09/2014, AS DELINEATED ON FEMA FLOOD SERVICE CENTER ONLINE PORTAL.

CEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING
DATED MAY 7, 2018

The diagram illustrates a cross-section of a paver installation. At the bottom is a hatched area labeled 'SOIL SUBGRADE'. Above it is a layer labeled 'NON-WOVEN FILTRATION FABRIC ON BOTTOM AND SIDES OF SUBBASE.' The next layer is labeled 'SUBBASE LAYER: MINIMUM 6" THICK ASTM No. 2 STONE'. Above the subbase is an 'OPEN GRADED BASE LAYER: 4" THICK ASTM No. 57 STONE'. The main paver layer is labeled 'RED BRICK PAVER'. A 'BEDDING LAYER: 2" THICK ASTM No. 8 STONE' is shown beneath the pavers. A 'FILL VOIDS BETWEEN PAVERS WITH No. 8, 89 OR 9 STONE JOINTING MATERIAL. LEAVE 1/8" SPACE BETWEEN TOP OF JOINT MATERIAL AND TOP OF PAVER.' A 'FOUNDATION OR WALL' is shown on the left, with a '1/4" JOINT AT FOUNDATION/WALL' indicated. A note at the top right specifies 'JOINT SPACING TO BE 1/4" MIN.'

MEAN HIGHWATER

NOTE:

1. PERMEABLE PAVERS TO BE INSPECTED A MINIMUM OF ONCE A YEAR TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY.
2. PERMEABLE PAVER PATIO TO BE SWEEPED REGULARLY TO ENSURE SEDIMENT DOES NOT BUILD UP BETWEEN THE PAVERS.
3. AGGREGATE TO BE ADDED TO JOINTS IF MORE THAN 1/8" OF SPACE IS BELOW THE BOTTOM OF THE PAVER CHAMFER.

PERMEABLE PAVER DETAIL

LEGENDE

EXISTING:	PROPOSED
—	- LOCUS PROPERTY LINE
⑤	- SEWER MANHOLE (SMH)
⑩	- DRAIN MANHOLE (DMH)
⑦	- COMMUNICATIONS MANHOLE (TMH)
⑨	- ELECTRIC MANHOLE (EMH)
田	- CATCH BASIN (CB)
or S ^{25°}	- GAS VALVE/SERVICE
W ^{45°} or W ^{90°}	- WATER VALVE/SERVICE
—	- HYDRANT
—	- UTILITY POLE
N/F	- NOW OR FORMERLY
LSA	- LANDSCAPED AREA
----- 25 -----	- GRADE
x 25.7	- SPOT GRADE
— x — x — x — x —	x 25.7
—	- CHAIN-LINK/WIRE FENCE
— □ — □ — □ —	- WROUGHT IRON DECORATIVE FENCE
— □ □ □ —	- HOLE PLATES FOR UTILITIES
—	- LIGHT POLE
—	- TRAFFIC LIGHT

JECT TITLE & LOCATION:

AN TITLE: **PROPOSED CONDITIONS**

ANSWER

JOSHUA D WILD
3 FLIOT STREET, LLC

PROPOSED EXTERIOR VIEW

2 ELIOT ST



EXTERIOR DOOR PROPOSAL

2 ELIOT ST



HISTORICAL BLACK DOOR WITH
GLASS PANELS



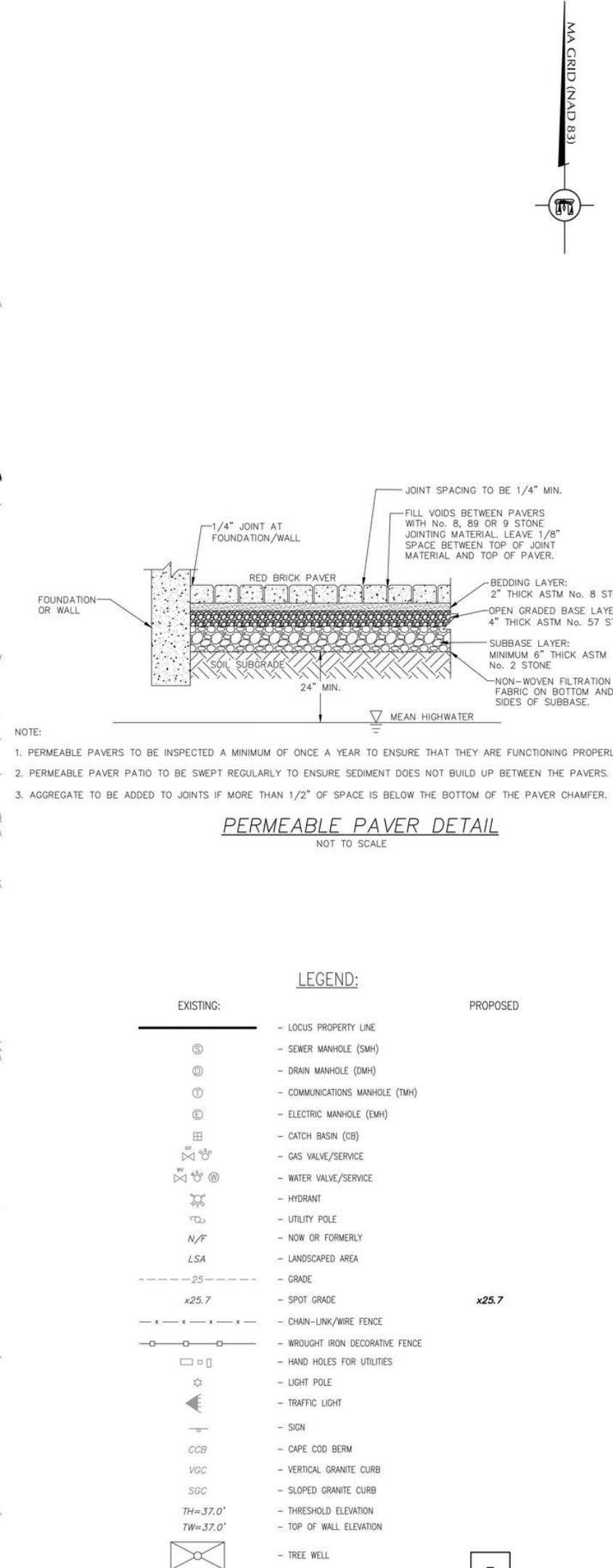
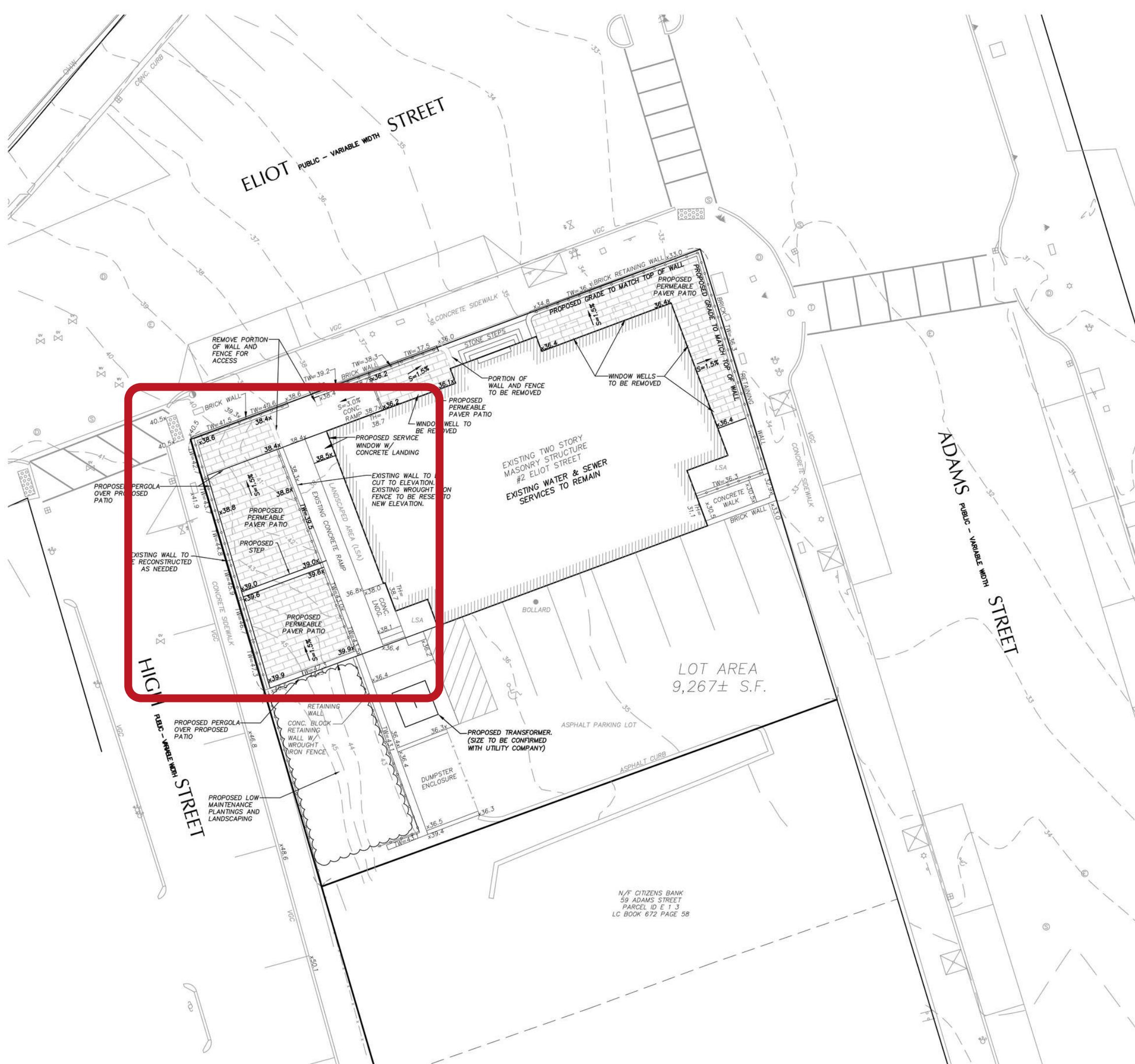
BRANDING ON GLASS TRANSOME
ABOVE DOORS



BLACK DOORS AND MULLIONS



EXISTING WHITE MOLDINGS TO
REMAIN SURROUNDING THE DOOR



MA GRID (NAD 83)

GENERAL NOTES:

1. LOCUS: ASSESSORS ID: E 1 1
RECORD OWNER: 2 ELIOT STREET, LLC
DEED REFERENCE: CERTIFICATE #209866
PLAN REFERENCE: LC PLAN #256628
2. DATE OF SURVEY: SEPTEMBER, 2024
3. VERTICAL DATUM: NAVD 88 (NAVD 88 + 6.62' = TOWN OF MILTON DATUM).
4. EXISTING UTILITIES WHERE SHOWN IN THE DRAWINGS ARE FROM SURFACE OBSERVATION AND RECORD INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING THE PROPOSED CONSTRUCTION ACTIVITY WITH DIG-SAFE AND THE APPLICABLE UTILITY COMPANIES AND MAINTAINING THE EXISTING UTILITY SYSTEM IN SERVICE.
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6. PARCEL IS ZONED "BUSINESS" PER TOWN OF MILTON ONLINE ZONING MAP DATED MAY 7, 2018.

PROJECT TITLE & LOCATION:
PROPOSED PATIO AT 2 ELIOT STREET MILTON, MASS.

PLAN TITLE:
PROPOSED CONDITIONS

PREPARED FOR:
JOSHUA D WILD
2 ELIOT STREET, LLC
174 DORCHESTER ST
BOSTON, MA 02127

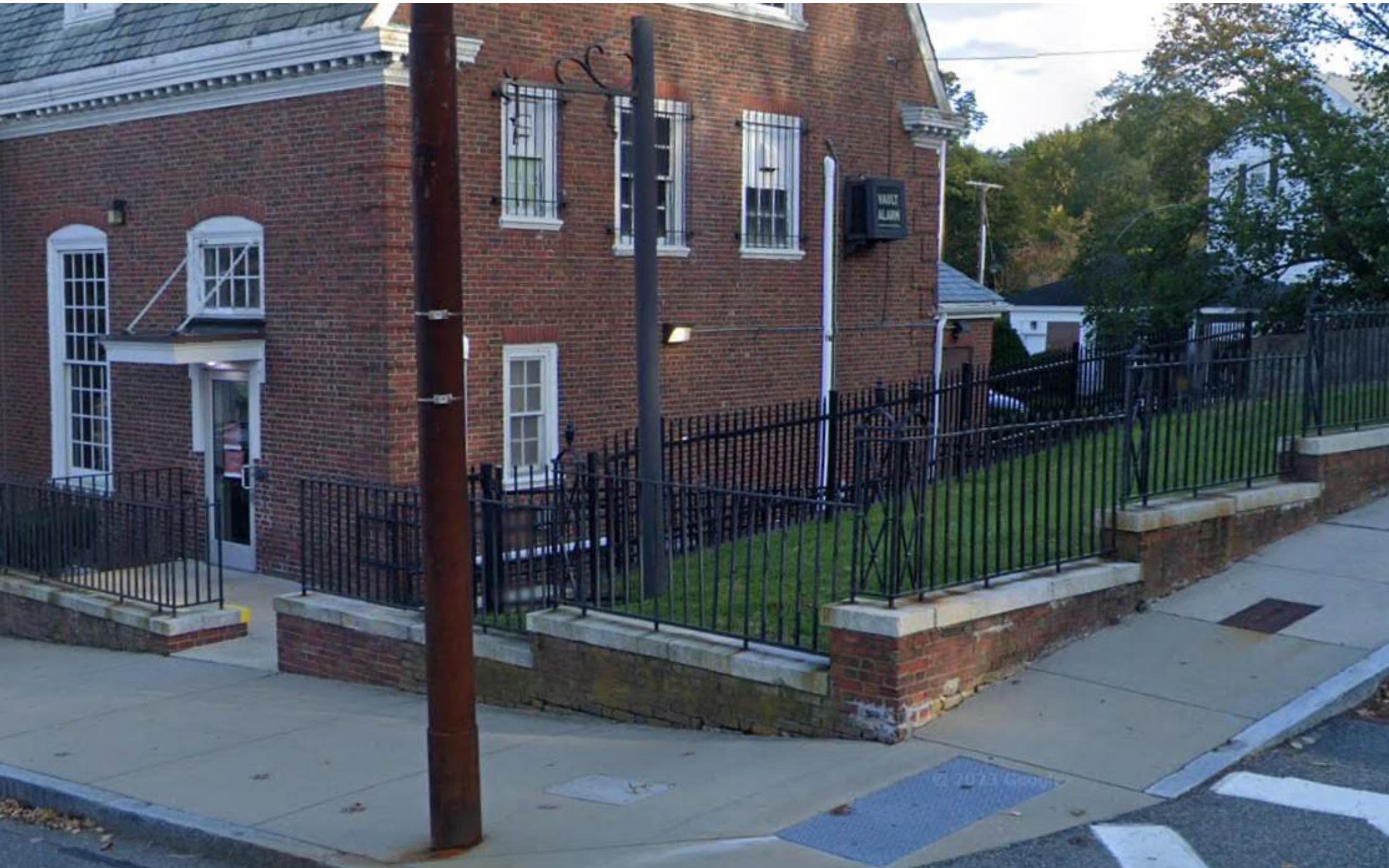
DATE: MARCH 5, 2025

LEGEND:

EXISTING:	PROPOSED:
●	- LOCUS PROPERTY LINE
○	- SEWER MANHOLE (SMH)
◎	- DRAIN MANHOLE (DMH)
●	- COMMUNICATIONS MANHOLE (TMH)
●	- ELECTRIC MANHOLE (EMH)
■	- CATCH BASIN (CB)
●	- GAS VALVE/SERVICE
●	- WATER VALVE/SERVICE
●	- HYDRANT
●	- UTILITY POLE
N/F	- NOW OR FORMERLY
LSA	- LANDSCAPED AREA
—	- GRADE
x	- SPOT GRADE
—	- CHAIN-LINK/WIRE FENCE
—	- WROUGHT IRON DECORATIVE FENCE
—	- HAND HOLES FOR UTILITIES
—	- LIGHT POLE
—	- TRAFFIC LIGHT
—	- SIGN
CCB	- CAPE COD BERM
VGC	- VERTICAL GRANITE CURB
SGC	- SLOPED GRANITE CURB
TH=37.0'	- THRESHOLD ELEVATION
TW=37.0'	- TOP OF WALL ELEVATION
—	- TREE WELL

CURRENT OUTDOOR SEATING AREA

2 ELIOT ST



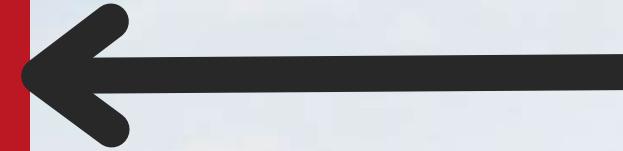
PROPOSED OUTDOOR SEATING AREA

2 ELIOT ST





DESIGN INTENT



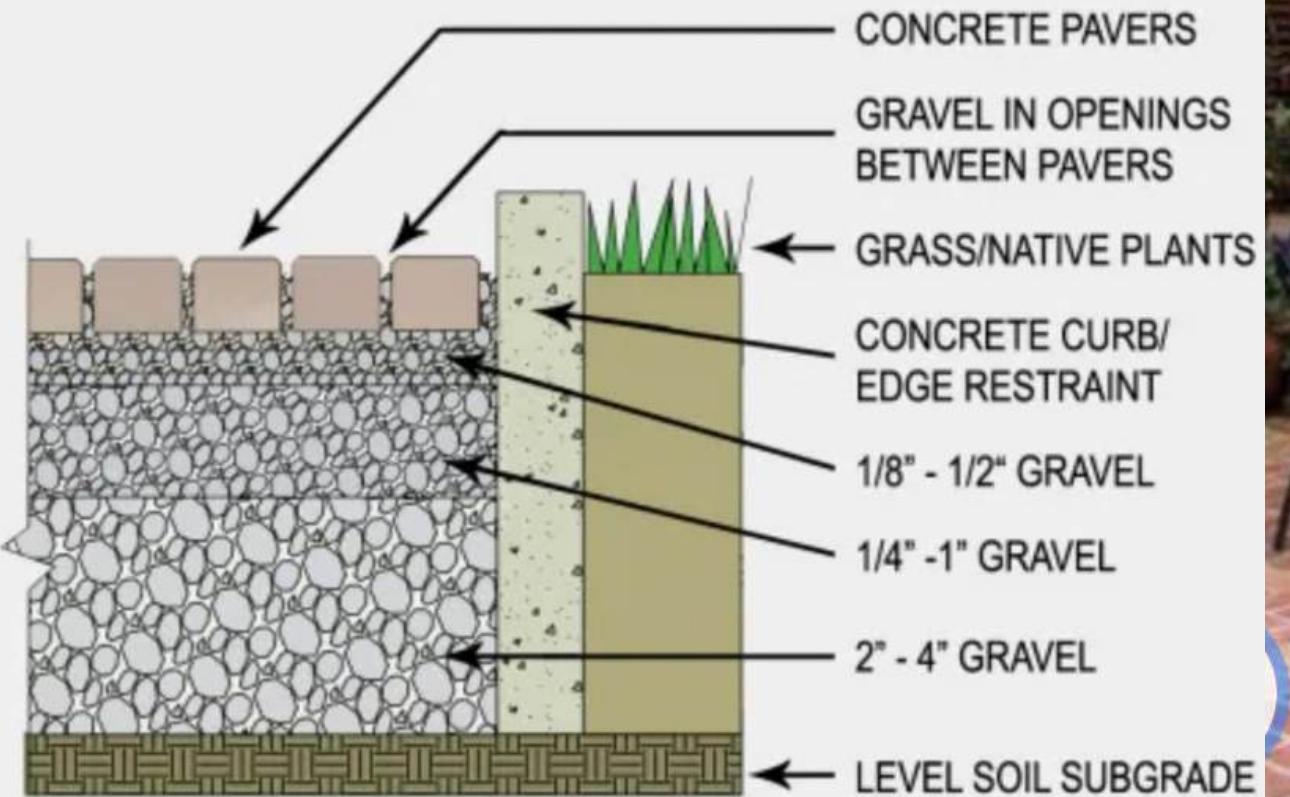
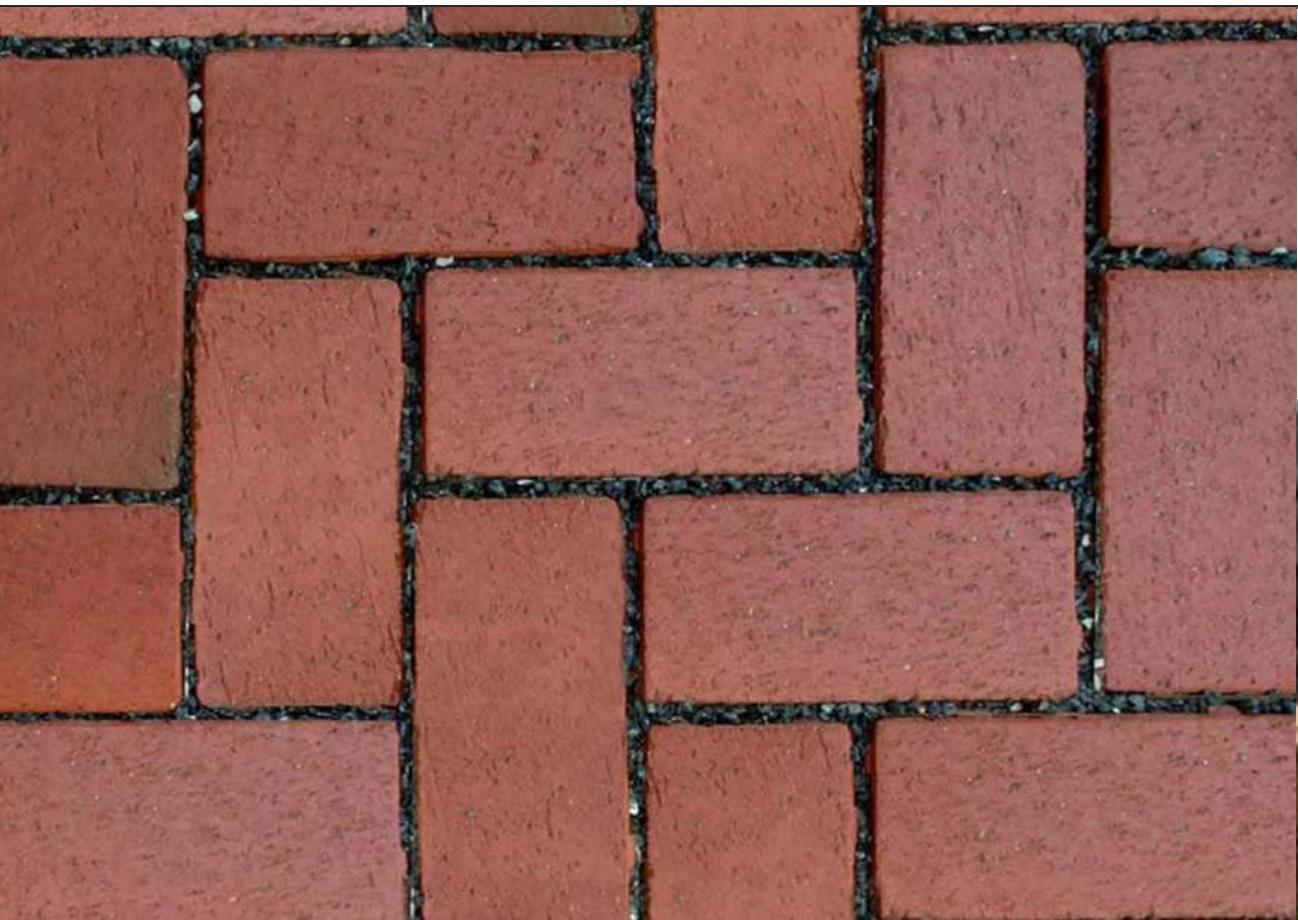
TRANSPARENT SCREENS





RED PERMEABLE PATIO PAVERS

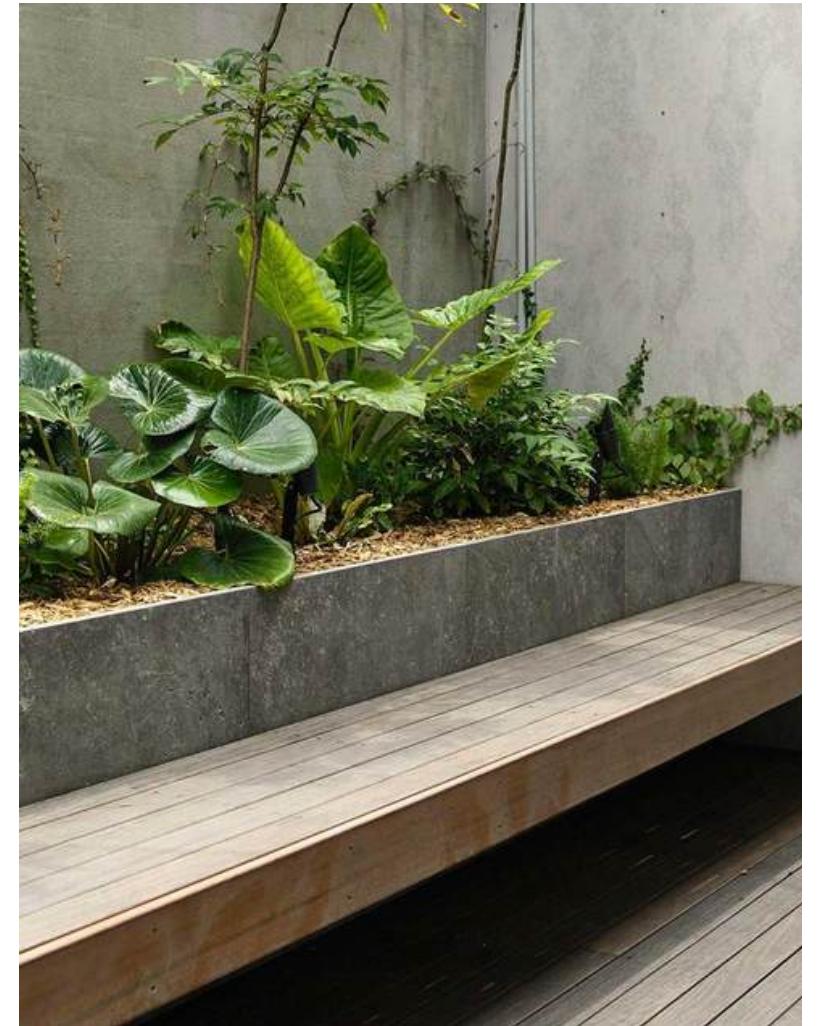
2 ELIOT ST





EXTERIOR DETAILS

2 ELIOT ST



INTEGRATED CONCRETE PLANTERS



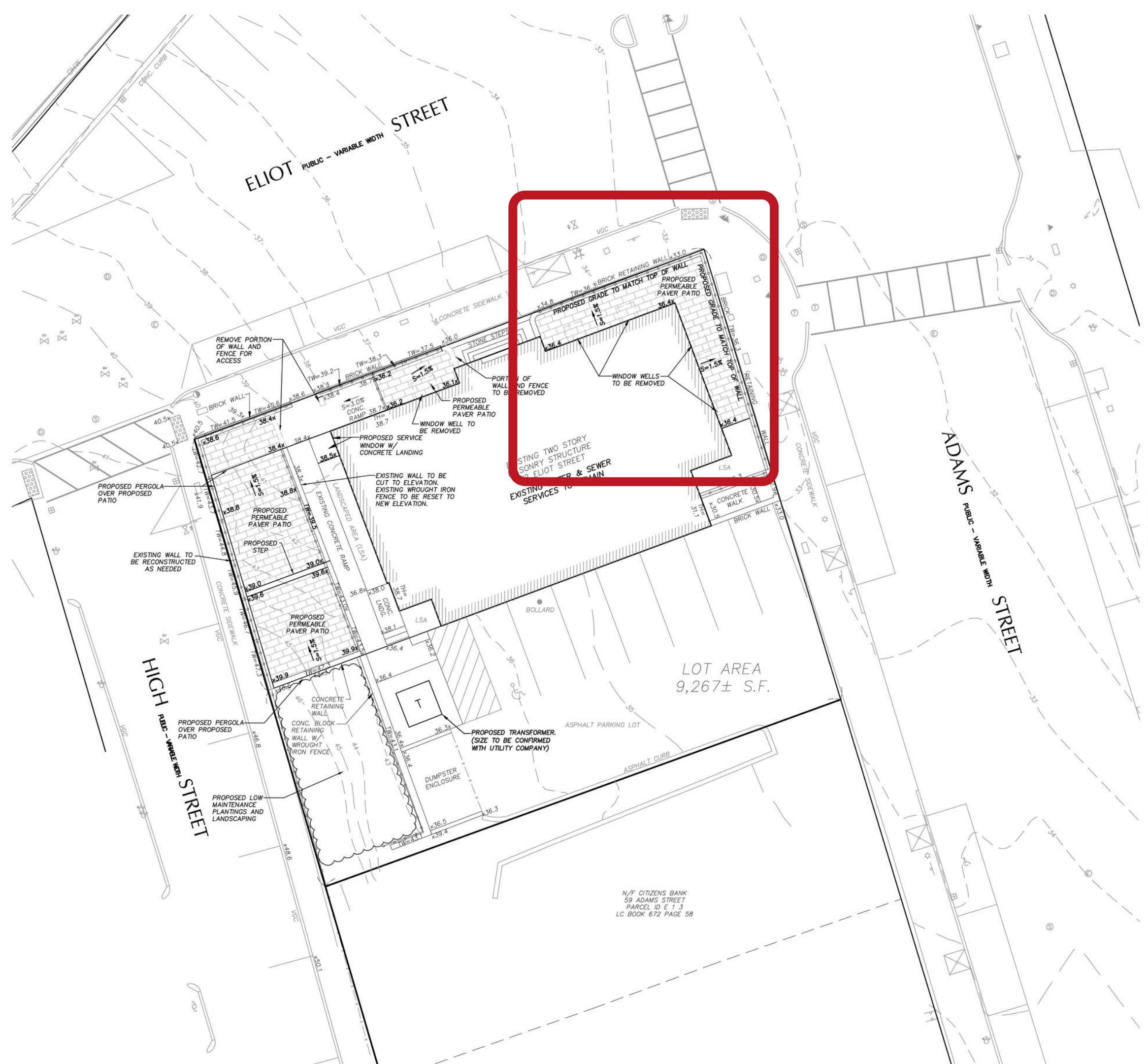
HANING PLANTS + VINES FROM PERGOLA



PERGOLA STRUCTURE



COPPER FLASHING/ROOF DETAILS



NOTES.

ID: E 1 1
NER: 2 ELIOT STREET, LLC
ENCE: CERTIFICATE #209866
ENCE: LC PLAN #25662B

SURVEY: SEPTEMBER, 2024

DATUM: NAVD 88 (NAVD 88 + 6.62" = TOWN OF MILTON

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MAY 7, 2018.

PERMEABLE PAVER DETAIL
NOT TO SCALE

TO SCALE

LEGEND:

EXISTING:	
⑤	- LOCUS PROPERTY LINE
⑩	- SEWER MANHOLE (SMH)
⑪	- DRAIN MANHOLE (DMH)
⑫	- COMMUNICATIONS MANHOLE (TMH)
⑬	- ELECTRIC MANHOLE (EMH)
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W ^W G ^G S ^S O ^O	- GAS VALVE/SERVICE
W ^W G ^G S ^S O ^O W	- WATER VALVE/SERVICE
○○○	- HYDRANT
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— x — x — x — x —	- CHAIN-LINK/WIRE FENCE
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□ □ □	- HAND HOLES FOR UTILITIES
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◀▶	- TRAFFIC LIGHT
— — —	- SIGN
CCB	- CAPE COD BERM
VGC	- VERTICAL GRANITE CURB
SGC	- SLOPED GRANITE CURB
TH=37.0'	- THRESHOLD ELEVATION
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	- TREE WELL

CT TITLE & LOCATION:

**PROPOSED PATIO
AT
2 ELIOT STREET
MILTON, MASS.**

PROPOSED CONDITIONS

1000

JOSHUA D WILD
2 ELIOT STREET, LLC
174 DORCHESTER ST
BOSTON, MA 02127

MARCH 5, 2025

CURRENT INTERSECTION VIEW

2 ELIOT ST



PROPOSED INTERSECTION VIEW

2 ELIOT ST



PLANTERS AND PLANTINGS

2 ELIOT ST



PLANTING SCHEDULE FOR 2 PENCE MARKET

MILTON, MA

PLANT NAME	BOTANICAL NAME	TYPE	BLOOM TIME / FEATURE
	Inkberry Holly <i>Ilex glabra</i>	Evergreen shrub	Evergreen foliage
	Sweetfern <i>Comptonia peregrina</i>	Deciduous shrub	Fragrant foliage
	Eastern Red columbine <i>Aquilegia canadensis</i>	Perennial flower	Spring red/yellow blooms
	New England aster <i>Symphotrichum</i>	Perennial flower	Late summer/fall purple blooms
	Little Bluestem <i>Schizachyrium scoparium</i>	Ornamental grass	Silvery-blue foliage
	Switchgrass 'Heavy Metal' <i>Panicum virgatum</i>	Ornamental grass	Spring pink bloom
	Purple Coneflower <i>Echinacea purpurea</i>	Perennial flower	Spring pink/purple
	Creeping Phlox <i>Phlox subulata</i>	Groundcover	Spring pink/purple berries
	Lowbush blueberry <i>Vaccinium angustifolium</i>	Deciduous shrub	Year-round green, red berries
	Bearberry <i>Arcostaphylos uva-ursi</i>	Evergreen groundcover	Year-round green, red berries

PLANTING SCHEDULE

Design Focus: Native, seasonal interest, pollinator-friendly, low-maintenance

Design Notes:

- Winter interest: Inkberry, Bearberry, and Switchgrass provide structure and evergreen appeal in colder months.
- Pollinator support: Coneflowers, asters, and columbine offer seasonal blooms for bees and butterflies.
- Planter-friendly: All selected species are suitable for container planting, with adjustments for soil drainage and root space.
- Layering approach: Taller grasses and shrubs in the center or back, with cascading plants like creeping phlox and bearberry at the edges.

REAR ACTIVATION IMAGES

2 ELIOT ST



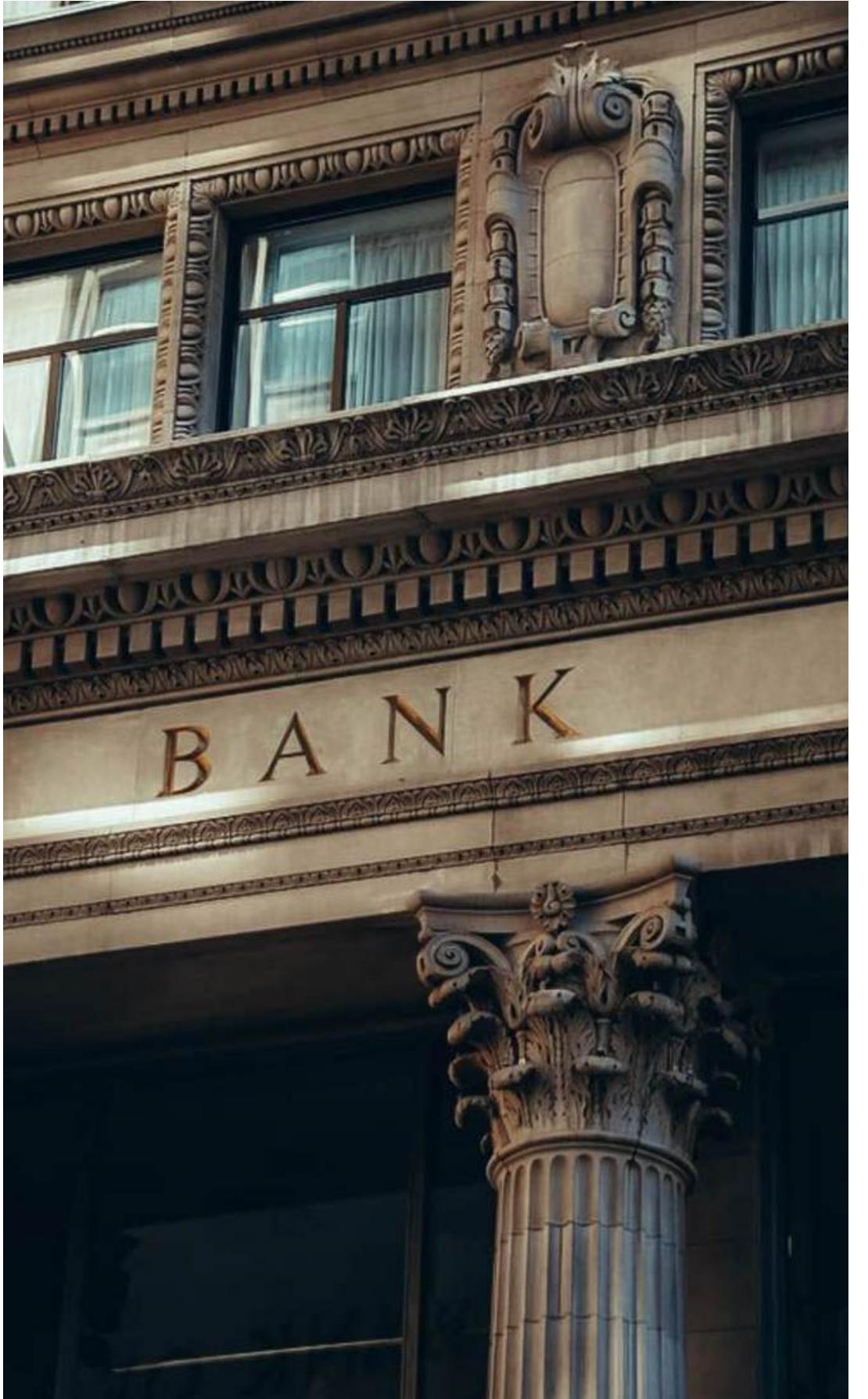
2 ELIOT ST

INTERIOR DESIGN PROPOSAL

STEEL & RYE x ELEVATED

DESIGN THEME: REFURBISHED BANK

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INSPIRATION IMAGES

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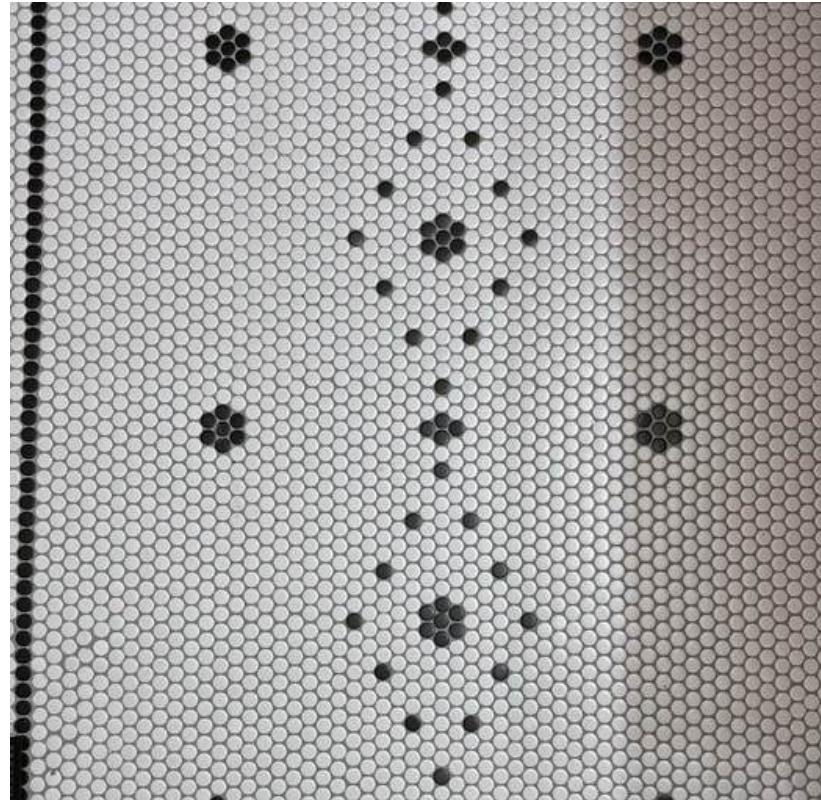


LIGHTING AND MATERIAL PROPOSAL

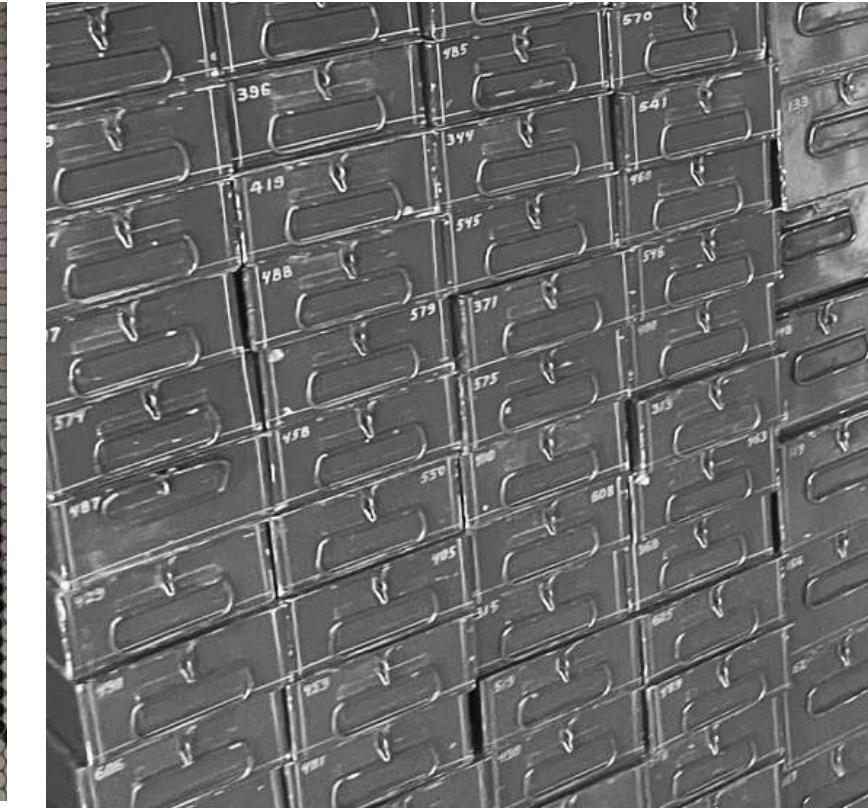
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PAINT



TILE FLOORING



UPCYCLE DEPOSIT BOXES FOR
SERVICE COUNTER



GREENERY



WOOD ACENTS
AND BEAMS



CHANDELIER
INSPIRATION



REFURBISH EXISTING
CHANDELIERS



PICTURE LIGHTS

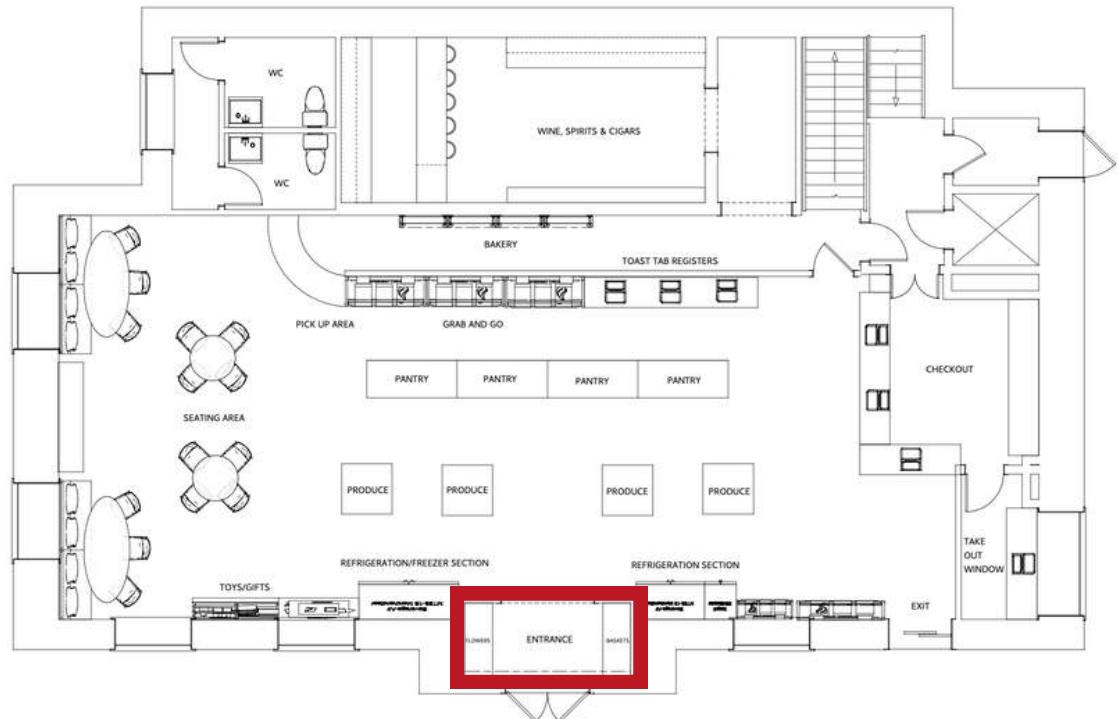


CHECKOUT
COUNTER LIGHTING

ENTRY

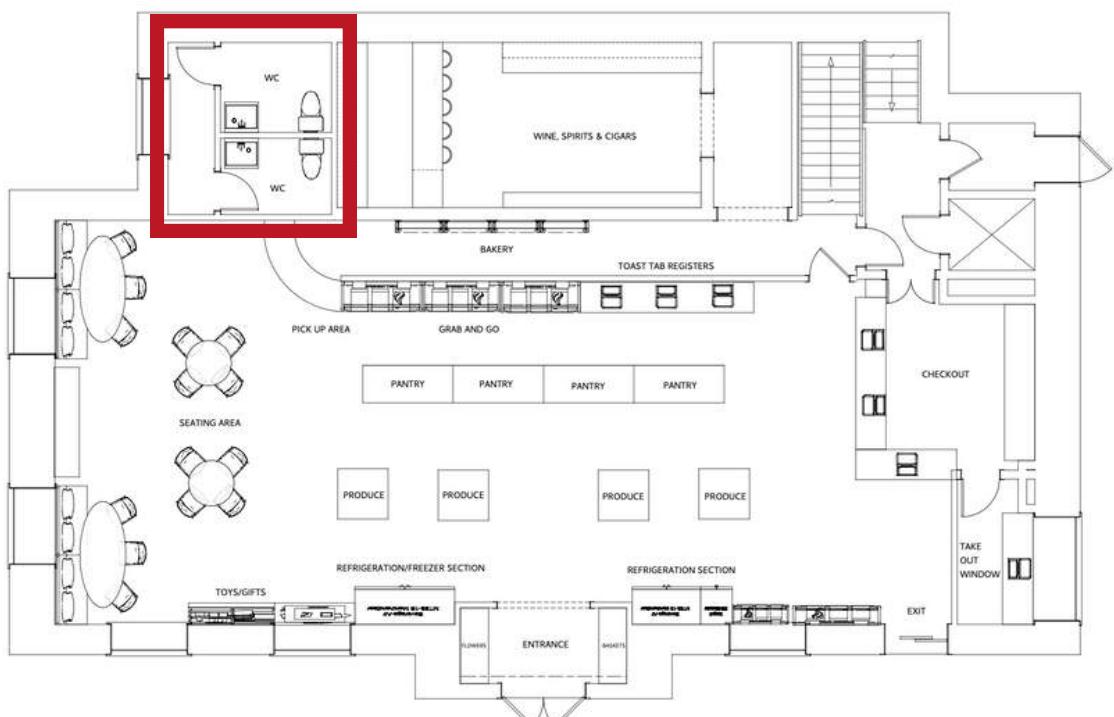
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MOSAIC TILE INLAY FLOOR AT ENTRY WITH BORDER TO FRAME THE SPACE



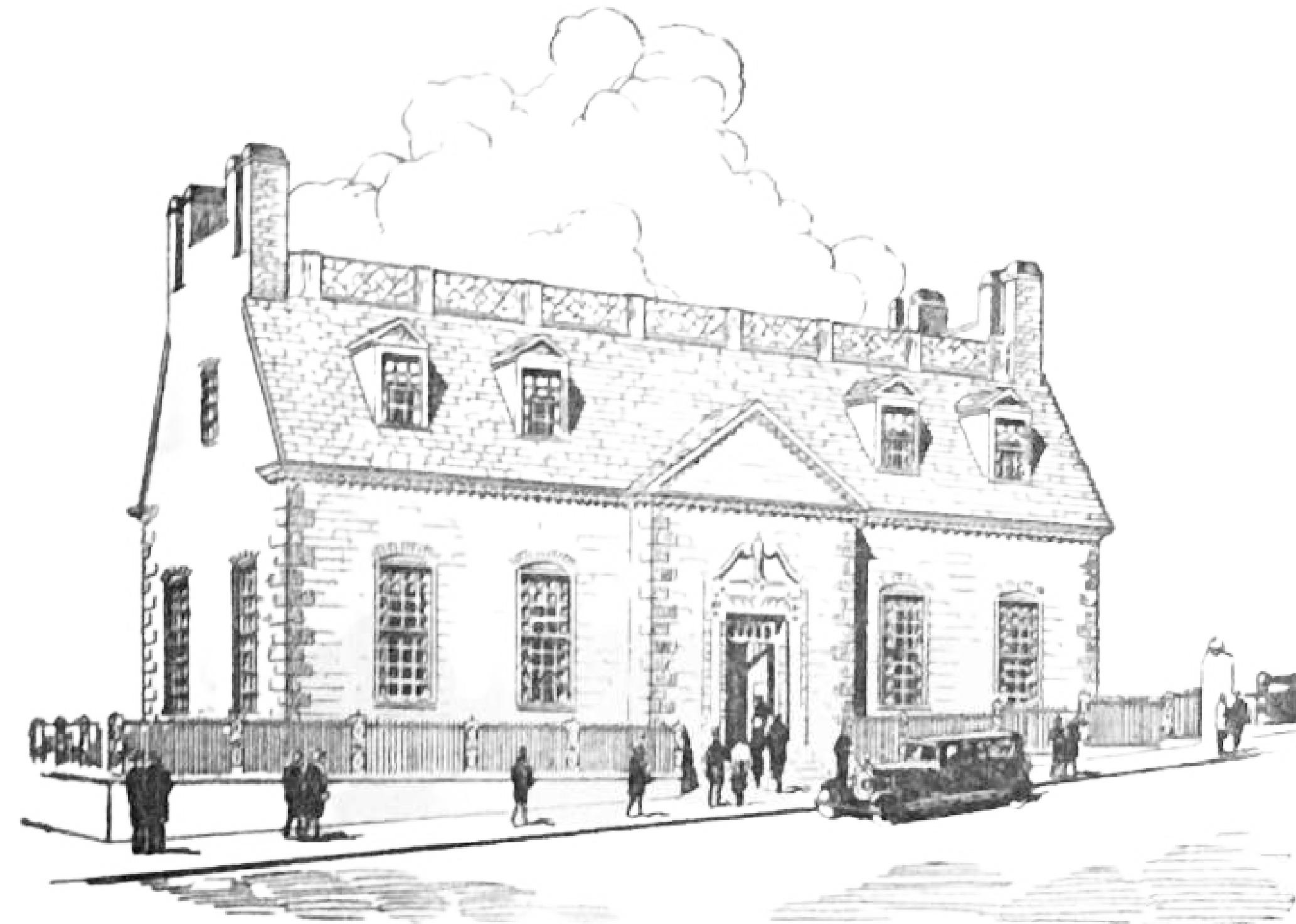
RESTROOMS

2 ELIOT ST



2 ELIOT ST

**Our goal is to restore and enhance the original design intent of 2 Eliot Street:
“to be reminiscent of the aristocratic New England structures built for public service in prosperous towns.”**



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ELEVATED
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STEEL & RYE